

PROPERTY INFORMATION

PROPERTY INFORMATION:
 APN / PARCEL ID: ____
 LEGAL DESCRIPTION: ____
 COUNTY: ____
 ZONING: ____
 FLOOD ZONE: ____
 LOT #: ____
 LOT SIZE: ____

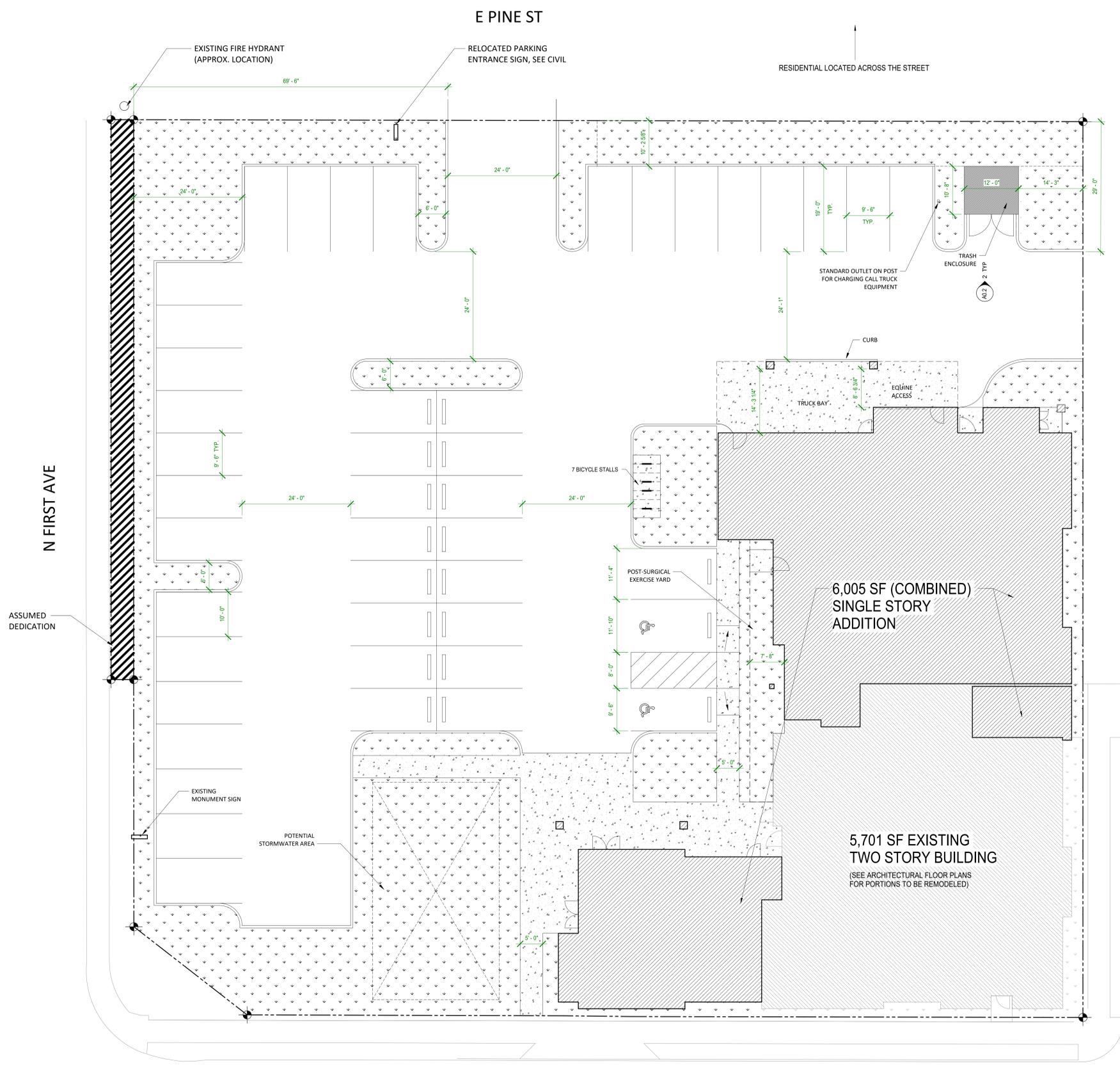


SITE PLAN LEGEND

- DETAIL NUMBER
- SHEET NUMBER
- ENLARGED PLAN OR DETAIL
- SECTION NUMBER
- SHEET NUMBER
- ELEVATION NUMBER
- SHEET NUMBER
- REVISION TAG
- COMPACT PARKING STALL
- PROPOSED BUILDING
- NEW LANDSCAPING
- NEW CONCRETE

STAYTON VETERINARY HOSPITAL

1308 N. FIRST AVE., STAYTON OR, 97383
 ARCHITECTURAL SITE PLAN



N FIRST AVE

N SECOND AVE

E PINE ST

E HOLLISTER ST

RESIDENTIAL LOCATED ACROSS THE STREET

ASSUMED DEDICATION

6,005 SF (COMBINED)
 SINGLE STORY
 ADDITION

5,701 SF EXISTING
 TWO STORY BUILDING
 (SEE ARCHITECTURAL FLOOR PLANS
 FOR PORTIONS TO BE REMODELED)

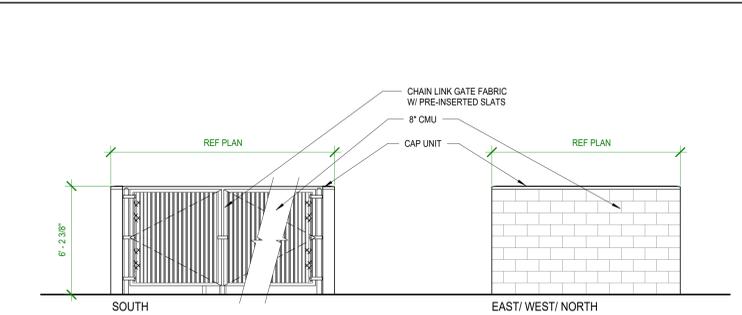
45 STALLS TOTAL
 (INC. 2 ADA STALLS)

11,706 SF BUILDING AREA TOTAL
 41 STALLS REQUIRED AT 3.5 / 1000 SF

9,659 SF OF LANDSCAPE (23.1%)

- NEW ADDITION
- EXISTING TWO STORY BUILDING

1 ARCHITECTURAL SITE PLAN
 1" = 10'-0"



2 ELEVATION - CMU DUMPSTER ENCLOSURE
 1/4" = 1'-0"

NO.	REVISION	DATE

PLOT DATE: 04/08/2024
 PROJECT NUMBER: 2319
 SHEET: ARCHITECTURAL SITE PLAN
A0.2
 CHECKED BY: STUDIO DR & GC
 DRAWN BY: NR & PW

THESE DRAWINGS ARE GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH MD ARCHITECTS, P.C. NO OTHER USE OR DUPLICATION MAY BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF MD ARCHITECTS, P.C. ALL OTHER COPYRIGHT AND COMMON LAW RIGHTS ARE HEREBY SPECIFICALLY RESERVED.

DEMOLITION SYMBOL LEGEND

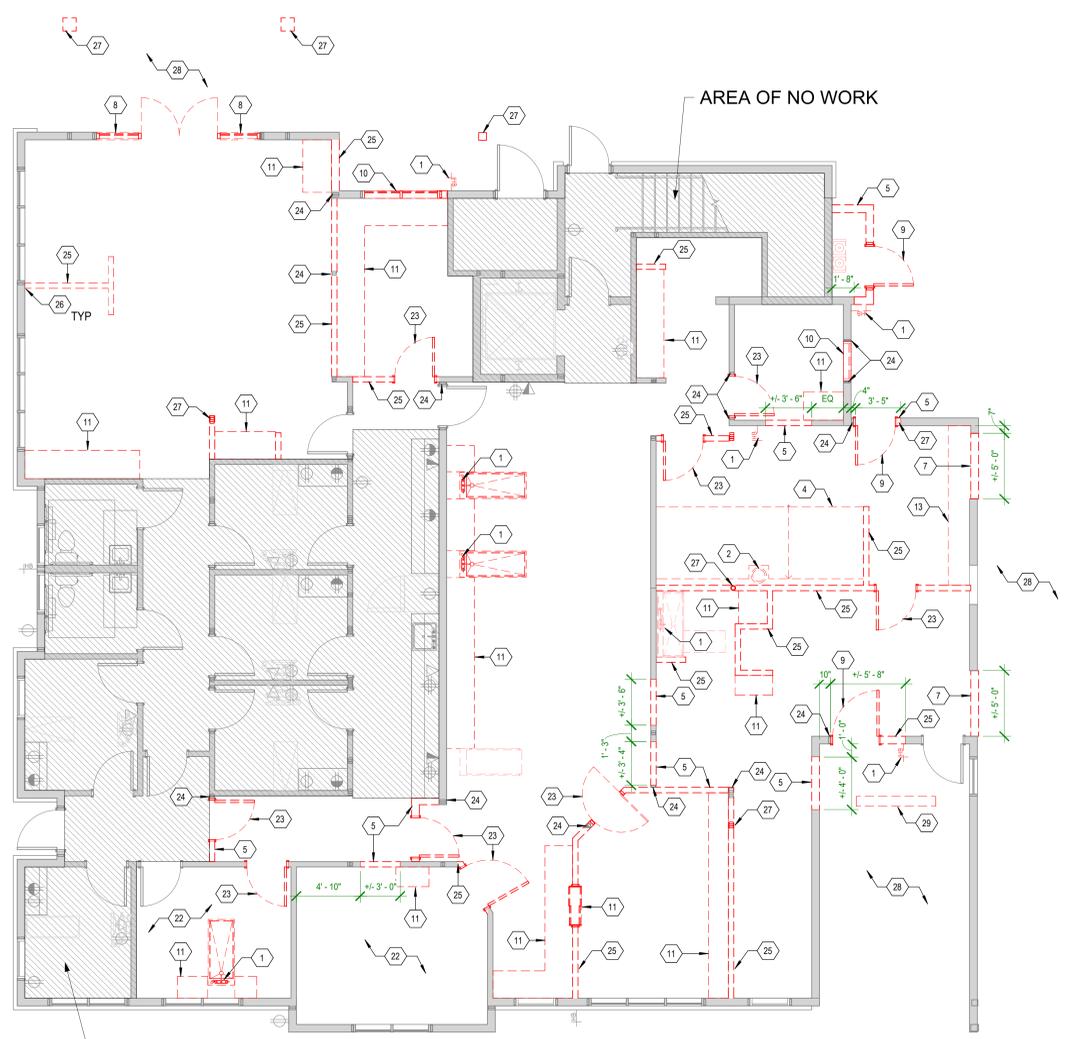
-  EXISTING WALLS TO BE DEMOLISHED
-  EXISTING WALLS TO REMAIN
-  EXISTING DOOR TO BE DEMOLISHED
-  EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- A. THE DEMOLITION DRAWINGS SHOWN AS PART OF THIS SET ARE INTENDED TO SHOW THE GENERAL SCOPE AND EXISTING CONDITIONS OF THE PROJECT AND THE GENERAL EXTENTS OF THE DEMOLITION. IT IS NOT THE INTENT OF THE DRAWINGS TO BE ALL INCLUSIVE OF ALL DEMOLITION NECESSARY FOR NEW CONSTRUCTION AND ARE MEANT TO AID THE CONTRACTOR IN EVALUATION OF THE EXTENT OF DEMOLITION. THE CONTRACTOR(S) ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, COORDINATING ALL NECESSARY REQUIREMENTS AND PERFORMING ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER SHOWN OR NOT.
- B. FIELD INSPECT DEMOLITION SCOPE PRIOR TO REMOVAL. INSURE REMOVAL DOES NOT IMPAIR STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN. IF FIELD INSPECTION INDICATES STRUCTURAL INTEGRITY MAY BE IMPAIRED, CONTRACTOR(S) SHALL NOTIFY ARCHITECT / STRUCTURAL ENGINEER AND OWNER IMMEDIATELY AND TAKE IMMEDIATE ACTION TO ENSURE SAFETY OF STRUCTURE WHILE PERMANENT SOLUTION IS DEVELOPED.
- C. DO NOT SCALE ANY DRAWINGS. FIELD VERIFY ALL EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- D. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK AMONG ALL TRADES.
- E. VERIFY ALL EXISTING WALL, FLOOR, CEILING, AND ROOF CONSTRUCTION TO DETERMINE EXTENT AND METHODS OF DEMOLITION REQUIRED FOR NEW CONSTRUCTION.
- F. VERIFY LOCATION OF EXISTING UTILITIES AND UNDERGROUND CONDUITS, CHASES, AND SOIL CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION.
- G. MAINTAIN ALL EXISTING EXITS AND EGRESS FOR THE DURATION OF THE CONSTRUCTION.
- H. ALL EXISTING SPACES IN OPERATION SHALL BE MAINTAINED WATER TIGHT THROUGHOUT CONSTRUCTION. EXISTING SPACES REMAINING IN OPERATION SHALL BE MAINTAINED DUST FREE THROUGHOUT CONSTRUCTION. PHASED AREAS OF WORK REQUIRING TEMPORARY CERTIFICATE OF OCCUPANCY SHALL THEREAFTER BE MAINTAINED DUST FREE FOR THE BALANCE OF CONSTRUCTION.
- I. IF HAZARDOUS MATERIALS ARE UNCOVERED DURING DEMOLITION OR CONSTRUCTION NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY.
- J. OWNER WILL REMOVE FURNISHINGS AND LOOSE EQUIPMENT PRIOR TO DEMOLITION.
- K. REMOVE AND/OR DEMOLISH ITEMS INDICATED. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON EXISTING MATERIALS AND EQUIPMENT REMOVED FROM THE SITE. VERIFY WITH OWNER ALL EXISTING MATERIAL, CASEWORK, EQUIPMENT, LIGHT FIXTURES, SYSTEM FURNISHINGS, DOORS, OR FRAMES WHICH SHALL BE SALVAGED PRIOR TO REMOVAL. TURN OVER SALVAGE MATERIALS TO OWNER AND/OR STORE ON SITE AS INDICATED BY THE OWNER. CONTRACTOR SHALL PROPERLY DISPOSE OF REMAINING ITEMS AND REMOVE FROM THE SITE IMMEDIATELY.
- L. REFER TO PROJECT MANUAL FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- M. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION, DEMOLITION WORK, AND COORDINATION REQUIREMENTS.
- N. FOR INFILLING ALL PLUMBING TRENCHES IN CONCRETE, TIE NEW AND EXISTING CONCRETE TOGETHER USING #4 REBAR @ 16" O.C. TYP.
- O. REMOVE ALL EXISTING WINDOW TREATMENTS (MINI-BLINDS, ETC) AND PATCH WINDOW JAMBS OR HEADS AS REQUIRED.
- P. ALL EXISTING LIGHTING, EXIT LIGHTING, EMERGENCY LIGHTING TO REMAIN UNLESS OTHERWISE NOTED ON REFLECTED CEILING PLAN OR ELECTRICAL LIGHTING PLAN.
- Q. ALL CASEWORK TO BE REMOVED THROUGHOUT.
- R. G.C. TO GPR THE EXISTING FLOOR SLAB TO DETERMINE THE EXACT LOCATION OF THE EXISTING SANITARY LINE. (GPR = GROUND PENETRATING RADAR)
- S. IT IS THE GENERAL CONTRACTOR'S CHOICE TO REPLACE THE EXISTING GYPSUM BOARD ALONG THE EXTERIOR KNEE WALL IN ITS ENTIRETY WITH NEW GYP. BOARD IF DEEMED MORE ECONOMICAL AT NO ADDITIONAL COST TO THE OWNER. INDICATE CHOICE WITH BID SUBMISSION.
- T. ADDITIONAL DEMO WORK MAY BE REQUIRED FOR NEW RECESSED EQUIPMENT. REFER TO EQUIPMENT PLANS FOR MORE INFORMATION.

DEMOLITION KEYNOTES

- NOT ALL KEYNOTES USED ON THIS SHEET
- 1 REMOVE EXISTING PLUMBING FIXTURE IN ITS ENTIRETY AND CAP WATER AT SOURCE. COORDINATE WITH HOSPITAL WHETHER OR NOT FIXTURE TO BE SALVAGED.
 - 2 REFER TO PLUMBING PLANS FOR REMOVAL OF EXISTING FLOOR DRAINS AND DRAIN LINES.
 - 3 REMOVE CONCRETE SLAB IN THIS CROSS HATCHED AREA. COORDINATE EXACT LOCATIONS OF DEMOLITION WORK WITH ARCHITECTURAL FLOOR PLANS NEW CONSTRUCTION.
 - 4 GENERAL CONTRACTOR TO REMOVE EXISTING DOG RUNS IN THEIR ENTIRETY AND POUR NEW CONCRETE TOPPING FOR LEVEL FLOOR.
 - 5 REMOVE PORTION OF WALL FOR NEW DOOR / OPENING. REFER TO ARCHITECTURAL PLAN & DOOR SCHEDULE FOR INFORMATION.
 - 6 REMOVE EXISTING WALL FACING IN ITS ENTIRETY. REFER TO WALL SECTION 2/A02 FOR NEW CONSTRUCTION.
 - 7 REMOVE EXISTING PORTION OF WALL AND EXISTING DOOR TO CREATE A NEW NON-CASED OPENING. SEE ARCHITECTURAL FLOOR PLAN FOR SCHEDULED WIDTH. CONTACT ARCHITECT IF EXISTING STRUCTURAL COMPONENTS ARE VISIBLE DURING DEMOLITION WITHIN THESE OPENINGS. THE NEW OPENING SHALL RECEIVE HEADER. REFER TO STRUCTURAL PLANS. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AFTER WALL REMOVAL AND/OR BEFORE INSTALLATION OF NEW HEADER.
 - 8 REMOVE EXISTING EXTERIOR STOREFRONT WINDOW. NEW WALL INFILL TO BE INSTALLED AT EXISTING OPENING.
 - 9 EXISTING EXTERIOR DOOR & FRAME TO BE REMOVED. NEW WALL INFILL TO BE INSTALLED BY GENERAL CONTRACTOR.
 - 10 REMOVE EXISTING WINDOW. PREPARE TO INFILL WITH NEW WALL CONSTRUCTION.
 - 11 REMOVE ALL CASEWORK / SHELVING IN ITS ENTIRETY.
 - 12 REMOVE EXISTING TV & BRACKET.
 - 13 REMOVE EXISTING ANIMAL CAGES AND CURB. LEVEL SLAB TO MATCH EXISTING.
 - 14 REMOVE EXISTING WALL MOUNTED EQUIPMENT. COORDINATE WITH OWNER WHETHER OR NOT TO BE SALVAGED.
 - 15 REMOVE EXISTING WALL MOUNTED EQUIPMENT OR FURNISHINGS. PATCH WALL TO MATCH ADJACENT WALL FINISH. COORDINATE WITH OWNER WHETHER OR NOT TO BE SALVAGED.
 - 16 REMOVE EXISTING ELECTRICAL PANEL AND PATCH WALL TO MATCH ADJACENT WALL FINISH. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
 - 17 REMOVE EXISTING RECEPTION DESK IN ITS ENTIRETY.
 - 18 EXISTING X-RAY MACHINE TO BE RELOCATED BY OTHERS. COORDINATE WITH HOSPITAL.
 - 19 REMOVE EXISTING HOSPITAL EQUIPMENT. COORDINATE WITH HOSPITAL WHETHER OR NOT TO BE SALVAGED.
 - 20 EXISTING CASEWORK TO REMAIN.
 - 21 EXISTING EQUIPMENT TO REMAIN.
 - 22 EXISTING FLOORING AND BASE TO REMAIN.
 - 23 REMOVE EXISTING INTERIOR DOOR. COORDINATE WITH OWNER WHETHER OR NOT TO BE SALVAGED.
 - 24 EXISTING COLUMN TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
 - 25 DEMOLISH AND DISPOSE OF PORTION OF EXISTING WALL CONSTRUCTION. REMOVE, CLEAN AND RETURN EXISTING WALL ACCESSORIES TO BUILDING OWNER. COORDINATE WITH BUILDING OWNER FOR ACCESSORY ITEMS TO BE SALVAGED AND REUSED WITHIN SCOPE OF WORK.
 - 26 PATCH AND REPAIR EXISTING WALL CONSTRUCTION AS A RESULT OF DEMOLITION TO MATCH ADJACENT. EXISTING CONSTRUCTION AND PREPARE FOR NEW WALL FINISH.
 - 27 DEMOLISH AND DISPOSE OF EXISTING COLUMN. SHORE EXISTING STRUCTURE ABOVE, AS REQUIRED, UNTIL NEW STRUCTURE IS PROVIDED. COORDINATE DEMOLITION WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 - 28 DEMOLISH AND DISPOSE OF EXISTING EXTERIOR SITE ELEMENTS AFFECTED BY NEW CONSTRUCTION. COORDINATE ALL EXTERIOR SITE DEMOLITION WITH CIVIL DRAWINGS.
 - 29 DEMOLISH AND DISPOSE OF EXISTING WHEEL STOP.

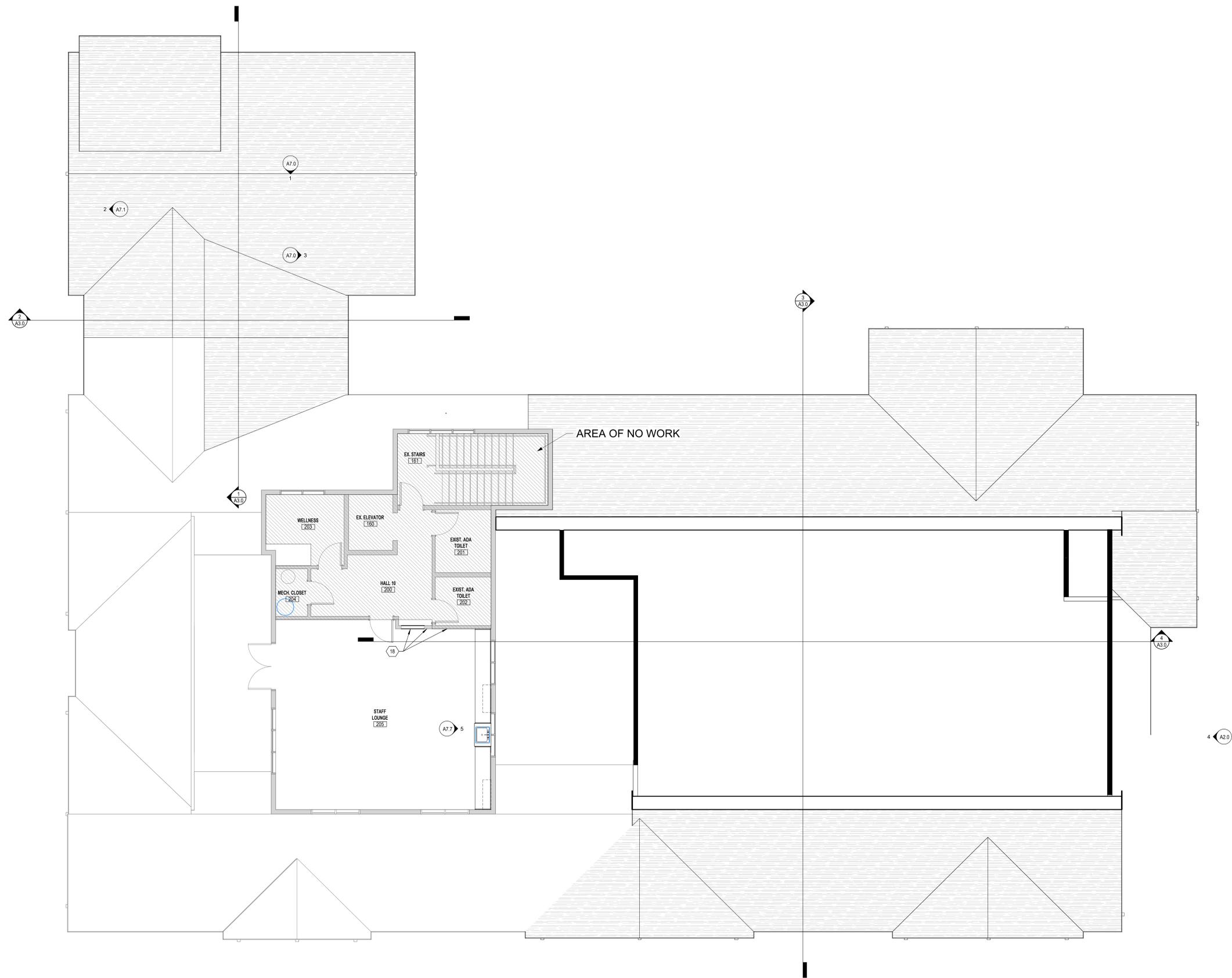


1 FIRST FLOOR DEMOLITION PLAN
A1.0.1 3/16" = 1'-0"

STAYTON VETERINARY HOSPITAL
 1308 N. FIRST AVE., STAYTON OR, 97383
 1ST FLOOR DEMOLITION PLAN

NO.	REVISION	DATE

PLOT DATE: 04/08/2024
 PROJECT NUMBER: 2319
 SHEET: 1ST FLOOR DEMOLITION PLAN
A1.0.1
 CHECKED BY: STUDIO DRI & GC
 DRAWN BY: NR & PW
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CITY APPROVAL STAMP

STAYTON VETERINARY HOSPITAL

1308 N. FIRST AVE., STAYTON OR, 97383
 2ND FLOOR ARCHITECTURAL FLOOR PLAN

CERTIFICATION

NO.	REVISION	DATE

PLOT DATE: 04/08/2024

PROJECT NUMBER: 2318

SHEET: 2ND FLOOR ARCHITECTURAL FLOOR PLAN

A1.1.3

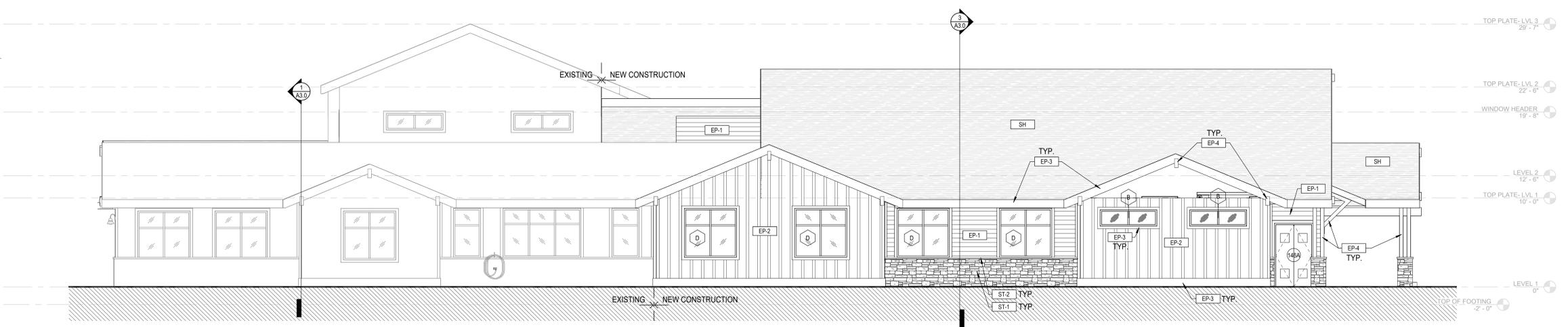
CHECKED BY: STUDIO DR & GC

DRAWN BY: Author

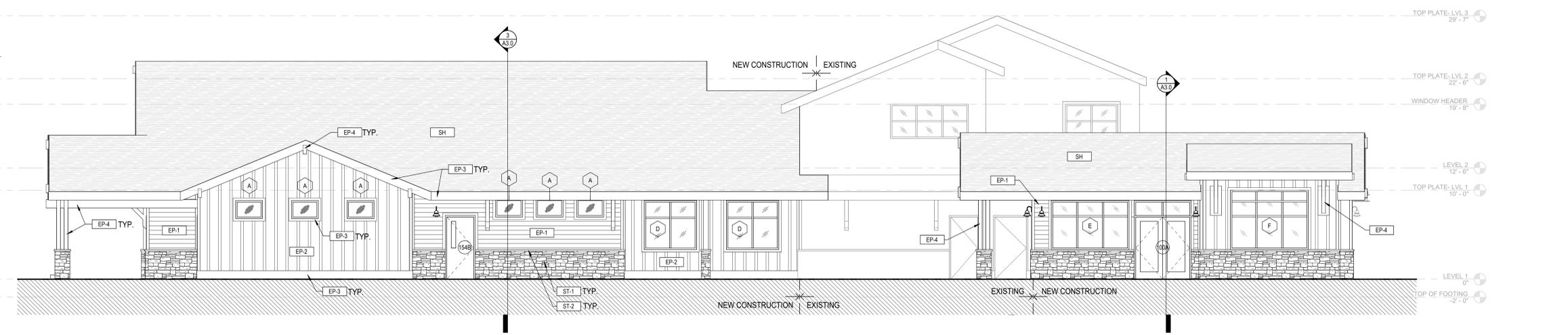
1 SECOND FLOOR ARCHITECTURAL PLAN
 A1.1.3 3/16" = 1'-0"

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1 ELEVATION - EAST
 A2.1 3/16" = 1'-0"



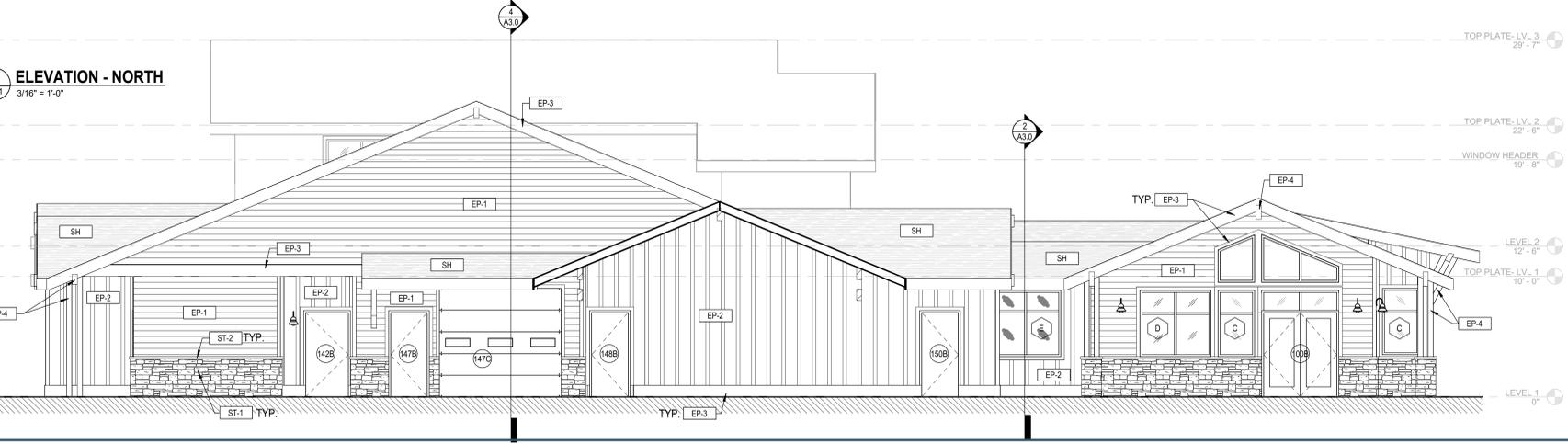
2 ELEVATION - WEST
 A2.1 3/16" = 1'-0"



3 ELEVATION - SOUTH
 A2.1 3/16" = 1'-0"



4 ELEVATION - NORTH
 A2.1 3/16" = 1'-0"



EXTERIOR FINISH LEGEND NOTES

ST-1		ST-1 - TYPICAL SIMULATED STONE WAINSCOT BASIS-OF-DESIGN PRODUCT: MFR: CULTURED STONE STYLE: COUNTRY LEDGESTONE COLOR: ECHO RIDGE
ST-2		ST-2 - TYPICAL SILL & CAP BASIS-OF-DESIGN PRODUCT: MFR: CULTURED STONE COLOR: GRAY
EP-1		EP-1 - TYPICAL PAINT AT CEMENTITIOUS LAP SIDING BASIS-OF-DESIGN PRODUCT: MFR: BENJAMIN MOORE COLOR: #HC-80 BLEEKER BEIGE
EP-2		EP-2 - TYPICAL PAINT AT CEMENTITIOUS BOARD & BATTEN SIDING BASIS-OF-DESIGN PRODUCT: MFR: SHERWIN WILLIAMS COLOR: #7617 MEDITERRANEAN
EP-3		EP-3 - TYPICAL PAINT AT DOOR & WINDOW TRIM, FASCIAS, BARGE BOARDS, AND BELLY BANDS BASIS-OF-DESIGN PRODUCT: MFR: BENJAMIN MOORE COLOR: #2125-20 DEEP SPACE
EP-4		EP-4 - TYPICAL STAIN FOR HEAVY TIMBER POSTS, BEAMS, & KICKERS TO MATCH WILSONART COLOR BASIS-OF-DESIGN PRODUCT: MFR: WILSONART COLOR: #7956K-78 HONDURAN MAHOGANY
SH		SH - TYPICAL SHINGLE BASIS-OF-DESIGN PRODUCT: MFR: CERTAINTED STYLE: LEGACY COLOR: WEATHERED WOOD

BUILDING ELEVATION KEYNOTES

- NEW EXTERIOR SIGNAGE BY OWNER. COORDINATE WITH OWNER'S VENDOR FOR POWER AND INSTALLATION REQUIREMENTS.
- NEW HOSE BIBB AND RACK. REFER TO SITE PLAN AND PLUMBING DRAWINGS FOR MORE INFORMATION.
- EXISTING EXTERIOR WALL PACK LIGHT TO REMAIN.
- NEW EXTERIOR LIGHTS. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
- NEW BOLLARD. REFER TO STRUCTURAL FOR DETAIL.
- NEW FENCING. REFER TO FENCING AND GROUNDCOVER PLAN FOR MORE INFORMATION.
- NEW AIR INTAKE LOUVER. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION. PROVIDE DRIP EDGE FLASHING ABOVE OPENING. COLOR TO BE SELECTED BY ARCHITECT FROM STANDARD COLOR OPTIONS.
- THRU-WALL EXHAUST VENT WITH WEATHER CAP AND BIRD SCREEN. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- EXISTING ACCESSIBLE RAMP & RAILINGS TO REMAIN.
- INFILL EXISTING OPENING. NEW CONSTRUCTION TO MATCH EXISTING MATERIALS AND THICKNESS. FINISH TO MATCH EXISTING PAINTED STUCCO.
- FROSTED WINDOW FILM GRAPHIC PROVIDED AND INSTALLED BY OWNER'S SIGNAGE VENDOR.
- NEW 6'-0" LONG COMMERCIAL COATED STEEL BENCH EMBEDDED INTO CONCRETE AND SET IN NON-SHRINK GROUT. BASIS OF DESIGN: BELSON OUTDOORS MODEL: 940SM-V6. COLOR: TO BE DETERMINED.
- NEW CONCRETE STOOP WITH 42" HEIGHT 1-1/2" PAINTED STEEL GUARD RAIL EMBEDDED INTO CONCRETE WITH 3" MIN. COVER. REFER TO SHEET #F FOR MORE INFORMATION.
- NEW CONCRETE STOOP WITH 42" HEIGHT BRUSHED ALUMINUM RAILING. BOLTED INTO CONCRETE WITH APPROVED HARDWARE. REFER TO SHEET #F FOR MORE INFORMATION.
- FOUNDATION SYSTEM. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- MASONRY CONTROL JOINT AS REQUIRED. LOCATIONS RE: PROJECT MANUAL SPECIFICATIONS.
- NEW 1:20 SLOPED SIDEWALK. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
- CONTROL JOINT, ALIGNED WITH EDGE OF SHEAR WALL SUBSTRATE. REFER TO SPECS FOR MORE INFORMATION.
- OVERFLOW ROOF DRAIN LAMBS TONGUE. REFER TO PLUMBING DRAWINGS.
- NEW 6" DOWNSPOUT. SEE CIVIL DRAWINGS FOR CONTINUATION.
- ROOF SCREEN (BEYOND). REFER TO ROOF PLAN FOR MORE INFORMATION.
- CAST STONE CORNICE PROFILE 1A WITH 45 DEG. ANGLE RETURN AT EDGE.
- CAST STONE SILL PROFILE 1B. 4'-0" CONTROL JOINTS TYP.
- ADDRESS NUMBERS PROVIDED BY CONTRACTOR. EACH CHARACTER SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCHES PER IBC 902.1.
- KNOX BOX. CONFIRM EXACT LOCATION WITH LOCAL FIRE MARSHAL.

CERTIFICATION

DATE	
BY	
NO. REVISIONS	
DATE	
BY	
NO. REVISIONS	
DATE	
BY	
NO. REVISIONS	

PLOT DATE: 9/6/2024
 PROJECT NUMBER: 2319
 SHEET: BUILDING ELEVATIONS
A2.1
 CHECKED BY: STUDIO DR & GC
 DRAWN BY: NR
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