



# AGENDA STAYTON CITY COUNCIL MEETING

Monday, April 21, 2014

Stayton Community Center  
400 W. Virginia Street  
Stayton, Oregon 97383

**CALL TO ORDER**

**7:00 PM**

**Mayor Vigil**

**FLAG SALUTE**

**ROLL CALL/STAFF INTRODUCTIONS**

**PRESENTATIONS/COMMENTS FROM THE PUBLIC**

Request for Recognition: If you wish to address the Council, please fill out a green “Request for Recognition” form. Forms are on the table at the back of the room.

*Recommended time for presentation is 10 minutes.*

*Recommended time for comments from the public is 3 minutes.*

## **ANNOUNCEMENTS – PLEASE READ CAREFULLY**

*Items not on the agenda but relevant to City business may be discussed at this meeting. Citizens are encouraged to attend all meetings of the City Council to insure that they stay informed. Agenda items may be moved forward if a Public Hearing is scheduled.*

- a. Additions to the agenda
- b. Declaration of Ex Parte Contacts, Conflict of Interest, Bias, etc.

## **CONSENT AGENDA**

- a. April 7, 2014 City Council Action Minutes

### ***Purpose of the Consent Agenda:***

*In order to make more efficient use of meeting time, resolutions, minutes, bills, and other items which are routine in nature and for which no debate is anticipated, shall be placed on the Consent Agenda. Any item placed on the Consent Agenda may be removed at the request of any council member prior to the time a vote is taken. All remaining items of the Consent Agenda are then disposed of in a single motion to adopt the Consent Agenda. This motion is not debatable. The Recorder to the Council will then poll the council members individually by a roll call vote. If there are any dissenting votes, each item on the consent Agenda is then voted on individually by roll call vote. Copies of the Council packets include more detailed staff reports, letters, resolutions, and other supporting materials. A citizen wishing to review these materials may do so at Stayton City Hall, 362 N. Third Avenue, Stayton, or the Stayton Public Library, 515 N. First Avenue, Stayton.*

***The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for persons with disabilities should be made at least 48 hours prior to the meeting. If you require special accommodations please contact Alissa Angelo, Deputy City Recorder at (503) 769-3425.***

**PUBLIC HEARING – None**

**UNFINISHED BUSINESS – None**

**NEW BUSINESS**

**Ordinance No. 969, Amending Ordinance No. 863, Non-Exclusive Gas Utility Franchise to Northwest Natural Gas Company** **Action**

- a. Staff Report – Keith Campbell
- b. Council Discussion
- c. Council Decision

**Request for Heritage Tree Designation** **Action**

- a. Staff Report – Dan Fleishman
- b. Council Discussion
- c. Council Decision

**Park System Development Charge Update** **Informational**

- a. Staff Report – Keith Campbell
- b. Council Discussion
- c. Council Decision

**STAFF/COMMISSION REPORTS**

**Finance Director’s Report – Christine Shaffer** **Informational**

- a. March 2014 Monthly Finance Department Report

**Police Chief’s Report – Rich Sebens** **Informational**

- a. March 2014 Statistical Report

**Public Works Director’s Report – Dave Kinney** **Informational**

- a. March 2014 Operating Report
- b. Public Works Update
- c. Wilco Road – Future Improvements Conceptual Plan

**Planning & Development Director’s Report – Dan Fleishman** **Informational**

- a. March 2014 Activities Report

**Library Director’s Report – Mark Greenhalgh-Johnson** **Informational**

- a. March 2014 Activities

**PRESENTATIONS/COMMENTS FROM THE PUBLIC**

*Recommended time for presentations is 10 minutes.*

*Recommended time for comments from the public is 3 minutes.*

**BUSINESS FROM THE CITY ADMINISTRATOR**

**BUSINESS FROM THE MAYOR**

**BUSINESS FROM THE COUNCIL**

**FUTURE AGENDA ITEMS – May 5, 2014**

- a. Court Ordinances
- b. Water and Streets System Development Charges (SDC)
- c. Introduction of New Library Director
- d. Library Board Appointments

**ADJOURN**

## CALENDAR OF EVENTS

### **APRIL 2014**

Monday	April 21	City Council	7:00 p.m.	Community Center (north end)
Tuesday	April 29	Pioneer Park Rehabilitation Project Open House	5:30 p.m.	E.G. Siegmund Meeting Room
Tuesday	April 29	Parks & Recreation Board	7:00 p.m.	E.G. Siegmund Meeting Room

### **MAY 2014**

Monday	May 5	City Council	7:00 p.m.	Community Center (north end)
Tuesday	May 6	Budget Committee	7:00 p.m.	Community Center (north end)
Thursday	May 8	Budget Committee	7:00 p.m.	Community Center (north end)
Friday	May 9	Community Leaders Meeting	7:30 a.m.	Covered Bridge Café
Monday	May 12	Budget Committee	7:00 p.m.	Community Center (north end)
Tuesday	May 13	Commissioner's Breakfast	7:30 a.m.	Covered Bridge Café
Monday	May 19	City Council	7:00 p.m.	Community Center (north end)
Wednesday	May 21	Library Board	6:00 p.m.	E.G. Siegmund Meeting Room
<b>Monday</b>	<b>May 26</b>	<b>CITY OFFICES CLOSED IN OBSERVANCE OF MEMORIAL DAY</b>		
Tuesday	May 27	Planning Commission	7:00 p.m.	Community Center (north end)

### **JUNE 2014**

Monday	June 2	City Council	7:00 p.m.	Community Center (north end)
Tuesday	June 3	Parks & Recreation Board	7:00 p.m.	E.G. Siegmund Meeting Room
Tuesday	June 10	Commissioner's Breakfast	7:30 a.m.	Covered Bridge Café
Tuesday	June 10	PEG Commission	12:00 p.m.	City Hall Conference Room
Tuesday	June 10	Public Safety Commission	6:00 p.m.	City Hall Conference Room
Friday	June 13	Community Leaders Meeting	7:30 a.m.	Covered Bridge Café
Monday	June 16	City Council	7:00 p.m.	Community Center (north end)
Wednesday	June 18	Library Board	6:00 p.m.	E.G. Siegmund Meeting Room
Monday	June 30	Planning Commission	7:00 p.m.	Community Center (north end)

### **JULY 2014**

Tuesday	July 1	Parks & Recreation Board	7:00 p.m.	E.G. Siegmund Meeting Room
Friday	July 4	<b>CITY OFFICES CLOSED IN OBSERVANCE OF INDEPENDENCE DAY</b>		
Monday	July 7	City Council	7:00 p.m.	Community Center (north end)
Tuesday	July 8	Commissioner's Breakfast	7:30 a.m.	Covered Bridge Café
Friday	July 11	Community Leaders Meeting	7:30 a.m.	Covered Bridge Café
Wednesday	July 16	Library Board	6:00 p.m.	E.G. Siegmund Meeting Room
Monday	July 21	City Council	7:00 p.m.	Community Center (north end)
Monday	June 28	Planning Commission	7:00 p.m.	Community Center (north end)

**City of Stayton  
City Council Meeting Action Minutes  
April 7, 2014**

**LOCATION:** STAYTON COMMUNITY CENTER, 400 W. VIRGINIA STREET, STAYTON

**Time Start:** 7:05 P.M.

**Time End:** 8:06 P.M.

**COUNCIL MEETING ATTENDANCE LOG**

COUNCIL	STAYTON STAFF
Mayor Scott Vigil	Alissa Angelo, Deputy City Recorder
Councilor Emily Gooch	Keith Campbell, City Administrator
Councilor Catherine Hemshorn	Dan Fleishman, Director of Planning & Development
Councilor Jennifer Niegel	David Kinney, Public Works Director
Councilor Henry Porter	Mark Greenhalgh-Johnson, Interim Library Director
Councilor Brian Quigley	Rich Sebens, Police Chief
	Christine Shaffer, Finance Director
	David Rhoten, City Attorney

AGENDA	ACTIONS
<b>REGULAR MEETING</b>	
<b>Presentations / Comments from the Public</b>	
a. Presentation and Proclamation for Child Abuse Prevention Month	Mayor Vigil read the proclamation. Representatives from the Marion County District Attorney's Office and Liberty House gave a brief presentation about Child Abuse Prevention Month.
<b>Announcements</b>	
a. Additions to the Agenda	None
b. Declaration of Ex Parte Contacts, Conflict of Interest, Bias, etc.	None
<b>Consent Agenda</b>	
a. March 17, 2014 City Council Action Minutes	Motion from Councilor Quigley, seconded by Councilor Gooch, to approve the consent agenda. <b>Motion passed 5:0.</b>
b. Senior Services Meal Site Agreement Renewal	
c. OLCC New Outlet – La Esperanza	
<b>Public Hearing</b>	
<b>Ordinance No. 968, Proposed Code Amendments Regarding Wireless Communication Facilities</b>	
a. Commencement of Public Hearing	Mayor Vigil opened the hearing at 7:30 p.m.
b. Staff Report – Dan Fleishman	Mr. Fleishman reviewed his staff report.
c. Questions from Council	Councilor Quigley inquired as to what prompted this discussion.
d. Proponents' Testimony	None
e. Opponents' Testimony	None
f. General Testimony	None
g. Questions from the Public	None
h. Questions from the Council	None
i. Staff Summary	None
j. Close of Hearing	Mayor Vigil closed the hearing at 7:39 p.m.

k. Council Deliberation	None
l. Council Decision on Ordinance No. 968	Motion from Councilor Niegel, seconded by Councilor Quigley, to adopt Ordinance No. 968 as presented. <b>Motion passed 5:0.</b>
<b>Unfinished Business</b>	None
<b>New Business</b>	
a. Ordinance No. 967, Amending SMC 5.12 to Declare a Temporary Moratorium on Medical Marijuana Facilities	Motion from Councilor Hemshorn, seconded by Councilor Gooch, to adopt Ordinance No. 967 as presented. <b>Motion passed 5:0.</b>
<b>Staff / Commission Reports</b>	
a. Building Sewer Maintenance Policy	Mr. Kinney reviewed his report included in the Council packet.
<b>Presentations / Comments from the Public</b>	None
<b>Business from the City Administrator</b>	Brief discussion by Mr. Campbell and Chief Sebens of the K9 Run that took place over the past weekend.
<b>Business from the Mayor</b>	Mayor Vigil briefly spoke about the relocation of the DMV in Stayton.
<b>Business from the Council</b>	<p>Councilor Quigley requested a copy of memo from the Comprehensive Plan Committee sent to Council in 2012 regarding System Development Charges. Mr. Fleishman stated he will forward the memo and report to the Council via email.</p> <p>Councilor Porter spoke about the issue of yard debris being dumped in the canals. Staff will use the newsletter and social media to spread the word on this issue.</p> <p>Councilor Gooch thanked those involved for the proclamation and presentation brought forth about Child Abuse Prevention Month.</p>
<b>Future Agenda Items</b>	
a. Court Ordinances b. Well investigation c. Introduction of New Library Director d. Northwest Natural Gas Franchise Agreement e. Parks System Development Charges (SDC)	

APPROVED BY THE STAYTON CITY COUNCIL THIS 21<sup>ST</sup> DAY OF APRIL 2014, BY A \_\_\_\_ VOTE OF THE STAYTON CITY COUNCIL.

Date: \_\_\_\_\_

By: \_\_\_\_\_

A. Scott Vigil, Mayor

Date: \_\_\_\_\_

Attest: \_\_\_\_\_

Keith D. Campbell, City Administrator

Date: \_\_\_\_\_

Transcribed by: \_\_\_\_\_

Alissa Angelo, Deputy City Recorder



**CITY OF STAYTON**  
**MEMORANDUM**

**TO:** Mayor Scott Vigil and the Stayton City Council

**FROM:** Keith Campbell, City Administrator

**DATE:** April 21, 2014

**SUBJECT:** Ordinance No. 969 – Amending Ordinance No. 863, Non-Exclusive Gas Utility Franchise to Northwest Natural Gas Company

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**ISSUE:** Northwest Natural Gas Company ten (10) year Franchise agreement is due expire on May 3, 2014.

**BACKGROUND:** The City has been working with Northwest Natural Gas Company to negotiate and a new non-exclusive franchise agreement. Northwest Natural Gas Company has been delayed in working with the City on our agreement due to their work volume and staff shortages.

Staff has spoken with Stephanie Baxter with Northwest Natural Gas Company who has agreed to the extension of the current franchise agreement for twelve months. The twelve month extension should allow both parties the needed time to negotiate a new agreement.

**RECOMMENDATION:** Staff recommends approval of Ordinance No. 969 to amend Ordinance No. 863 to allow for a twelve month extension of the current agreement.

**ORDINANCE NO. 969**

**AN ORDINANCE AMENDING ORDINANCE NO. 863 (NORTHWEST NATURAL GAS COMPANY) SECTION 2.2 EXTENDING THE TEN YEAR TERM BY TWELVE MONTHS.**

WHEREAS, the Northwest Natural Gas Company utility franchise was adopted as Ordinance No. 863 by the Stayton City Council, April 20, 2004, for a ten year term that expires on May 3, 2014;

WHEREAS, the City of Stayton will be updating the non-exclusive gas utility franchise agreement, which requires time beyond the expiration of the franchise;

WHEREAS, extending the term of the franchise by twelve months will adequately allow for the new franchise to be completed

NOW, THEREFORE, the Stayton City Council does ordain as follows:

**Section 2.2** Stayton City Ordinance No. 863, **Section 2.2, Duration.**, is amended to delete “. . . ten years. . .” to be substituted by “. . . eleven years . . .”.

ADOPTED BY THE STAYTON CITY COUNCIL this 21st day of April, 2014.

Signed: \_\_\_\_\_, 2014

CITY OF STAYTON

By: \_\_\_\_\_

A. Scott Vigil, Mayor

Signed: \_\_\_\_\_, 2014

ATTEST: \_\_\_\_\_

Keith D. Campbell City Administrator

APPROVED AS TO FORM:

\_\_\_\_\_  
David A. Rhoten, City Attorney



# City of Stayton

## *Planning and Development Department*

Mailing address: 362 N. Third Avenue · Stayton, OR 97383

Office location: 311 N. Third Avenue

Phone: (503) 769-2998 · FAX: (503) 767-2134

Email: [dfleishman@ci.stayton.or.us](mailto:dfleishman@ci.stayton.or.us)

[www.staytonoregon.gov](http://www.staytonoregon.gov)

## MEMORANDUM

**TO:** Mayor Scott Vigil and City Council Members  
**FROM:** Dan Fleishman, Director of Planning and Development  
**DATE:** April 21, 2014  
**SUBJECT:** Request for Heritage Tree Designation

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### ISSUE

The issue before the City Council is a request by Sandra Porter to designate two trees as Heritage Trees.

### BACKGROUND

In January 1999 the City Council enacted Ordinance 795 which added to the Land Use and Development Code what is now codified as Section 17.20.150.3 with the following provision:

Stayton citizens wishing to have trees recognized by the City as Heritage trees shall submit their request in writing to the City Council. The request shall explain why the subject tree is of exceptional value to the community. A majority vote of approval of the City Council will add the tree to the Heritage Tree list. No tree shall be designated a Heritage tree unless the property owner agrees. Property owners may request the removal of the Heritage Tree designation from trees on their property.

The Code also provides that

Unless specifically authorized in writing by the Public Works Director, or designee, no person shall intentionally damage, cut (save pruning), carve, transplant or remove any Heritage tree; attach any rope or wire (unless required in order to stabilize the tree), nails, advertising posters, or other contrivance; allow any substance which is harmful to such trees to come in contact with them; or set fire or permit any fire to burn when such fire or the heat thereof will injure any portion of any tree. A list of community Heritage trees will be kept and maintained by the City Administrator or designee.

To date, the City Council has designated three Heritage Trees at the request of property owners. These are

- Big Leaf Maple (*Acer macrophyllum*) at 418 E Jefferson St, designated in 1999
- Japanese Red-Leaf Maple (*Acer palmatum*) at 625 E Marion St, designated in 2001
- Ginkgo (*Ginkgo balboa*) at 633 N Third Ave, designated in 2003

Mrs. Porter identifies the trees that she nominates for designation as a California Pin Oak and a Bay Myrtle.

My research has not revealed a species as California Pin Oak, but simply Pin Oak (*Quercas palustris*). Pin Oak is a native of eastern North America and is one of the most popular landscape trees in the U.S. The specimen in the Porters' rear yard has a circumference of about 180 inches, an estimated height of 50 feet and crown spread of 65 feet. I note that the Oregon Champion Tree Registry does not contain a listing for Pin Oak, so perhaps this tree would qualify.

Similarly, my research does not find a tree identified as Bay Myrtle, but most likely the Porters' tree is a California Laurel (*Umbrellularia californica*), a species native to the California and southern Oregon coastal range and the tree known as Myrtlewood. It may also be known as Oreogn Myrtle, California Bay Laurel Pepperwood, Peppernut tree and Balm of Heaven. This species is the only species in the genus *Umbrellularia*. In addition to the coast range of California and Oregon, the species may also be found in foothills of the Sierra Nevada mountains. The Porters' specimen has a circumference of 120 inches, an estimated height of 50 feet and crown spread of 85 feet.

## **ANALYSIS**

The Code contains no other criteria than the tree has "exceptional value" to the community.

## **RECOMMENDATION**

Staff has no recommendation.

## **OPTIONS**

The City Council could:

- 1. Grant the request to designate both trees as Heritage Trees.**

Move the City Council designate the Pin Oak and the California Laurel located at 985 N Fourth Avenue as Heritage Trees.

- 2. Grant the request to designate the Pin Oak as a Heritage Tree.**

Move the City Council designate the Pin Oak located at 985 N Fourth Avenue as a Heritage Tree.

- 3. Grant the request to designate the California Laurel as a Heritage Tree.**

Move the City Council designate the California Laurel located at 985 N Fourth Avenue as a Heritage Tree.

- 4. Choose not to designate either tree as Heritage Trees.**

No motion necessary.

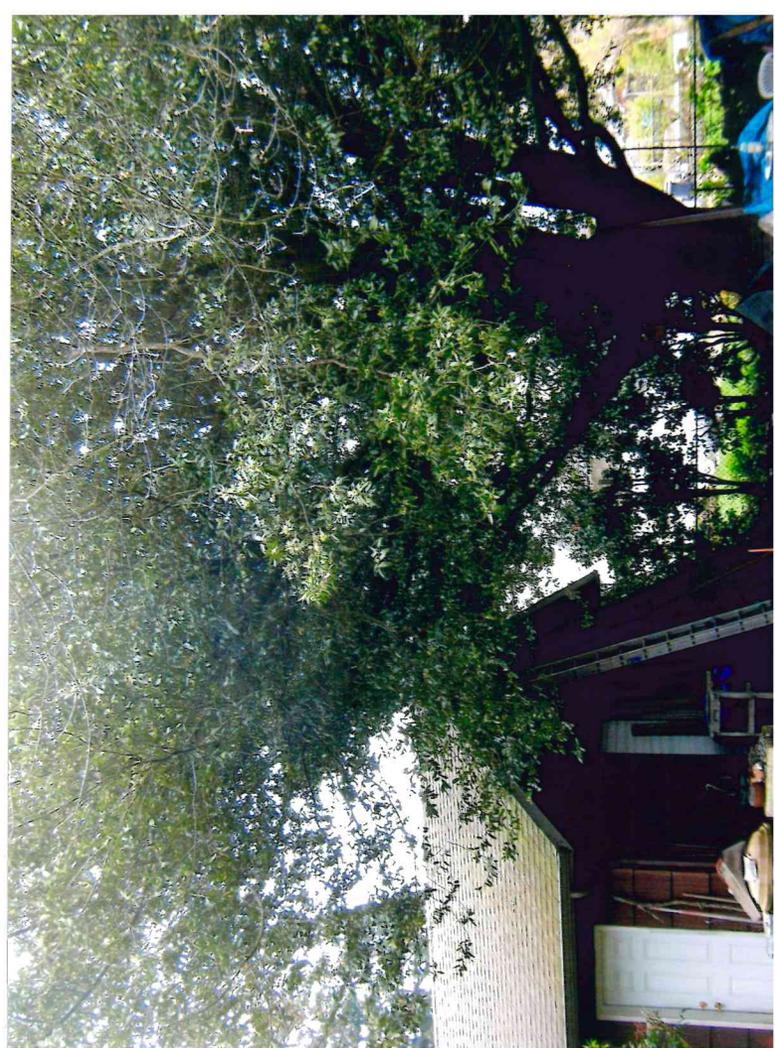
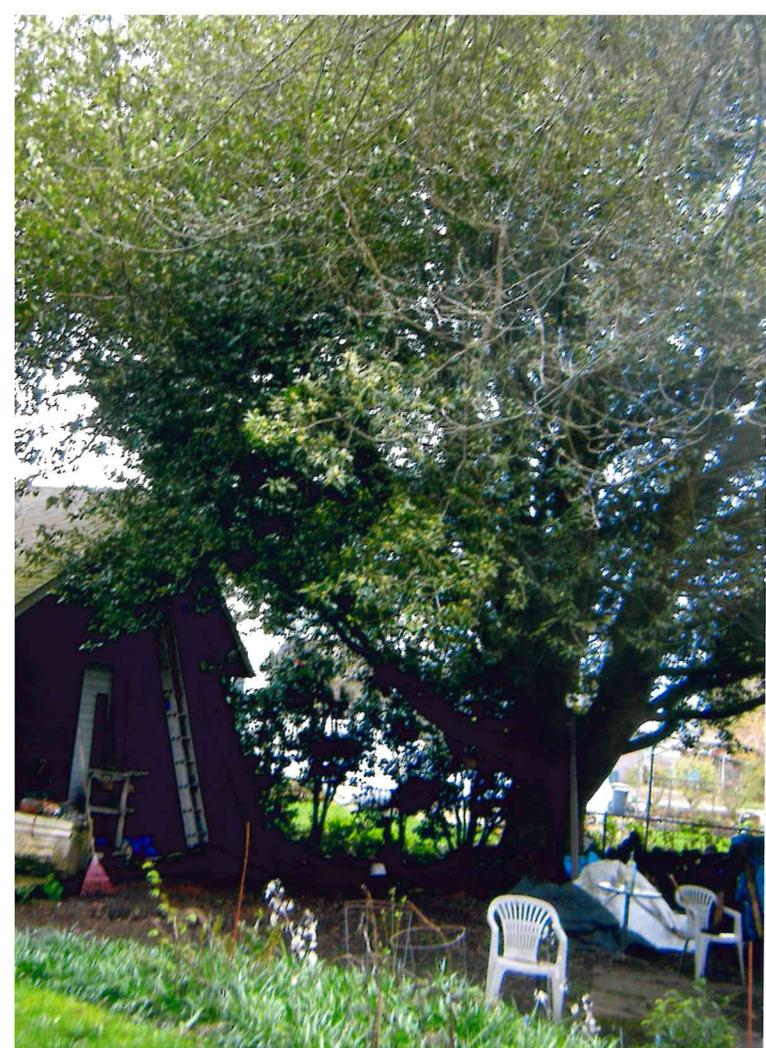
My house is at 985 N Fourth Ave, Stayton. I have two large old trees that I would like to be approved as Heritage Trees. One is a California pin oak on NW corner of property, and the other is a bay myrtle on SW corner of property. Age is not known but house built in 1923. We have lived here for forty years and they were large trees when we moved in.

Attached are pictures of both trees.

Thank you for your consideration in this matter.

Sincerely,

Sandra Porter  
(503)769-5792







**CITY OF STAYTON**  
**MEMORANDUM**

**TO:** Mayor A. Scott Vigil and the Stayton City Council  
**THRU:** Keith Campbell, City Administrator  
**FROM:** David W. Kinney, Public Works Director  
Dan Fleishman, Director of Planning and Community Development  
**DATE:** April 21, 2014  
**SUBJECT:** Park System Development Charge Update

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**ISSUE**

Informational Report on the Park SDC

**ENCLOSURES**

1. April 12, 2012 SDC Report from the Comprehensive Plan Update Committee
2. April 21, 2014 Park SDC Methodology Update
3. SDC Survey Results for 50+/- Oregon Cities (League of Oregon Cities)
4. Parks Master Plan Map (Adopted 2005)
5. Proposed SDC Project Map (2014)

**INTRODUCTION**

In 2012, the Comprehensive Plan Update Committee identified a number of issues with the methodologies used for the City's various System Development Charges. A basic summary of the concerns raised by the Update Committee is that the current SDCs are based upon adopted master plans that overestimate future growth in the City, therefore including capital projects that are not likely to be constructed within a 20-year timeframe and that SDCs need to be updated to reflect the actual costs of recent improvements instead of estimated costs. Upon receipt of that report, the City Council directed Staff to review the SDC methodology reports and return to the City Council with further analysis and proposed revisions. The Update Committee's report is enclosed as Attachment 1.

The Public Works and Planning and Development Directors have been working on these analyses and updates since that time as time has allowed. The priority of responding to the lawsuit from the Santiam Water Control District has delayed our work. That work is now nearing completion. This staff report presents the results of our efforts on the Parks System Development Charge. In coming weeks Staff will be presenting similar reports on the water,

wastewater, and transportation SDCs and present a methodology and propose adoption of a new storm water SDC.

## DISCUSSION

The City of Stayton adopted the *Stayton Parks and Recreation Master Plan* in March, 2005. Following adoption of the master plan the City’s financial consultant Ray Bartlett, Economic and Financial Analysis, Inc. prepared a Park SDC Methodology Report. Mr. Bartlett, with support from Keller Associates, reviewed the park improvements list recommended in the Master Plan. They determined whether or not each park improvement was needed to serve existing residents or would be needed to serve future growth in the community. In April 2007 the City Council adopted a revised Park SDC fee of \$2,305 for each new residential dwelling unit.

The 2007 Park SDC was established as a parks improvement fee. No reimbursement fee was established to recoup the cost of investments made in the city’s park facilities prior to 2007. The Park SDC is charged to all new residential developments. The Park SDC is not charged to commercial, industrial or other non-residential developments. The fee is collected from the developer at the time a building permit is issued for each new housing unit.

Since the adoption of the 2007 Park SDC, the City has made investments in the City’s parks, as proposed in the 2005 Master Plan. These investments have resulted in the addition of a reimbursement fee component of the Park SDC. In addition, the City has refined plans for improvements to Santiam Park, Pioneer Park, and Riverfront Park. When coupled with the 2005 Master Plan, the development of these refinement plans warrant a review and update of the improvement fee portion of the Park SDC.

The proposed 2014 Park SDC will be composed of both a reimbursement fee and an improvement fee. The projects used to calculate the Park SDC are those needed during the next 20 years to serve new growth in the community. Table 1 compares the current Park SDC with the maximum Park SDC the City may charge based on the 2014 Report.

**Table 1  
Current and Proposed Park SDC**

Type of SDC	2007	Maximum	Change	
	Park SDC	Park SDC	\$	%
Parks Improvement Fee	2,305	2,457	152	
Parks Reimbursement Fee	-	166	166	
<b>Total</b>	<b>2,305</b>	<b>2,623</b>	<b>318</b>	<b>14%</b>

The 2007 Park SDC indicates that the City would be adjusting the Park SDC annually to account for inflation in the cost of construction of public works projects. The City has not chosen not make those annual adjustments because for several years the inflation rate was negligible and because the desire to not increase costs during a time of low demand during the Great Recession and its recovery. If annual adjustments had been made, the Park SDC would be have increased by approximately 20% during the past seven years.

## SDC Amendment Process

System Development Charges amendments may be adopted by resolution after the City Council holds a public hearing and provides written notice of the proposed amendments to interested parties and to the public.

1. **Notice to Interested Parties:** The City is required to provide written notice to any person/entity who requests notice of a change in a City SDC fee. The notice must be provided a minimum of ninety (90) days in advance of any public hearing to consider a substantive amendment to an existing SDC methodology. The Marion County Homebuilder's Association has a standing request for such notice.
2. **Media Notice:** The City is required to publish a notice (display ad) in a newspaper of general circulation, (e.g. *Stayton Mail*). When the City adopted the Mill Creek Sewer SDC update, the newspaper also had a large news article explaining the proposal. Distribution of information via social media was also provided via a News Blast.
3. **Public Hearing:** The Council must hold a public hearing before modifying an SDC. The staff anticipates a public hearing will be held to consider all of the proposed SDC modifications rather than individual hearings on each element. However, the City Council could choose to hold individual hearings and adopt changes to each SDC individually.

## Stayton SDC Comparison with Other Oregon Cities

In 2013 the League of Oregon Cities completed a survey of SDC charges for Oregon cities. The survey results show that Stayton's SDCs are in the mid to high-range of SDC charges for similar size communities in the State of Oregon and Mid-Willamette Valley. Table 2 provides a comparison of Stayton's current SDC charges compared to nearby, similar size or larger mid-Willamette Valley cities.

**Table 2**  
**Comparison of SDCs for Single Family Dwellings**

<i>City</i>	<i>2013 Total SDC Charges (per SF home)</i>
Stayton	\$11,065
<b><i>Linn-Benton County</i></b>	
Albany	\$7,963
Corvallis	\$12,364
Lebanon	\$5,796
Sweet Home	\$1,839
<b><i>Marion County</i></b>	
Aumsville	\$16,632
Keizer	\$3,210
Salem	\$13,193
Silverton	\$19,406

Sublimity	\$10,630
Woodburn	\$11,000 - \$13,000**
<b><i>Polk County</i></b>	
Dallas	\$12,347
Independence	\$11,813
Monmouth	\$6,536
<b><i>Yamhill County</i></b>	
Newberg	\$16,740

\*\* SDCs vary depending on dwelling size, location, etc.

Staff has compiled a spreadsheet summarizing SDC fees for 50+/- Oregon cities. The spreadsheet lists each city with a breakdown of the individual SDC amounts for Water, Sewer, Transportation, Storm Drainage and Parks and is enclosed as Attachment 3.

## **QUESTIONS AND DISCUSSION**

# **Report of the Comprehensive Plan Update Committee City of Stayton System Development Charges April 19, 2012**

## **Introduction**

System Development Charges (SDC) are fees placed upon new development that reflect that development's proportionate share of capital improvements to the City's infrastructure that are needed to serve new development and growth in demand associated with new development. SDCs are authorized by Oregon Revised Statutes (ORS) 223.297-223.314 and Stayton Municipal Code Title 13, chapter 13.12 (both of which are attached as appendices to this report).

The City of Stayton currently collects fees to assist in the development of improvements to the water system, wastewater system, parks, and transportation system. State law and the Municipal Code also allow an SDC to be collected to finance improvements to the stormwater system and the City's adopted Stormwater Master Plan calls for one, but the City has not yet implemented a stormwater SDC.

There are generally two different types of SDCs – reimbursement fees and improvement fees. Reimbursement fees are collected to assist the City pay for improvements that have already been made to city systems, but which still have capacity for additional service. Improvement fees are for projects that are planned to expand the system but which have not been built.

Funds collected as a SDC may not be used to pay for operations or routine maintenance of capital improvements. Nor may they be used for improvements that address an existing deficiency. They may only be used to make capital improvements that are needed to expand capacity to accommodate new development.

For each of the City's major systems, the City has prepared and adopted Master Plans, in accordance with state law and Department of Land Conservation and Development administrative rules. The Transportation System Plan and the Parks and Recreation Master Plan were last updated in 2004. The Water and Wastewater Master Plans were adopted in 2006. The Stormwater Master Plan was adopted in 2009. As the various master plans approach 10 years old, the City should consider initiating a review and update to reflect changes in the systems and new assumptions about future growth. The City has applied for grants to update the Transportation Master Plan, but has not yet been successful.

Under Oregon's system of land use planning, the Master Plans are coordinated with the Comprehensive Plan. Within the framework for planning established by state law, the City and Marion County are supposed to work together to define an area needed to accommodate the projected growth of the City for a 20-year period. This area is known as the Urban Growth Boundary (UGB) and the City is responsible for planning the appropriate infrastructure to serve the complete build-out of the UGB. Each Master Plan contains an analysis of the individual system the plan addresses, noting the existing deficiencies and projections for improvements needed to accommodate projected growth. Each of the master plans contains a list of necessary capital improvements and cost estimates for those improvements.

When the SDCs are calculated for each system, an estimate is made regarding the percentage cost for each capital improvement that is needed to accommodate growth and the proportion to address an existing deficiency. The SDC is based solely on the portion of the capital improvements costs allocated to growth.

Stayton's SDCs were last updated in 2007, following the completion of the 2006 water and wastewater master plans. The Council resolutions establishing the fee schedule notes that the SDC should be adjusted annually to account for inflation. Because inflation has been so minimal, no adjustments have been made to the fees since 2007.

## Transportation System Development Charge

With the adoption of the 2004 Transportation System Plan (TSP) and the revised cost estimates for the improvements to the transportation system, the transportation SDC increased from \$1,926 to \$2,512 per peak hour trip generated by a new building. The 2004 TSP established an estimate of \$36.5 million needed in various roadway and bicycle and pedestrian improvements.

Highway systems are designed to accommodate the peak demand during the day, not average daily traffic. The TSP projects that the PM Peak Hour trips in the City will increase from 9,300 to 14,500 in 2025. New trips will account for 36% of the traffic in 2025. The SDC methodology notes that most of the improvements are needed to remediate existing problems and only 36% of the total cost was allocated toward growth, reflecting the TSP's estimate of the growth. There were a few projects for which a higher percentage is allocated to growth and one for which a lower percentage is allocated to growth.

### Capital Improvements used to Calculate Charge

Table 1 presents the Capital Improvements Projects contained in the TSP and the allocation to growth for each project contained in the SDC methodology. The total cost on which the SDC calculation was based is \$13.2 million.

Table 1. Transportation Capital Improvements Projects and Allocation to Growth

#	Improvement Description	2005\$	Allocation to Growth	
			%	\$
<b>Roadway Improvements</b>				
1	Highway 22 Joseph Street project--Highway 22 widening and reconstruction of Cascade Highway interchange	\$51,500	36%	18,552
2	Cascade Highway/1st Avenue Widening from Highway 22 to Regis Street - widen to 5 lanes with sidewalks	1,545,000	36%	556,554
3	Widen Golf Club Road from Highway 22 to Shaff Road - widen to 5 lanes with sidewalks and signalize Golf Club Road-Wilco Road/Shaff Road intersection	4,120,000	36%	1,484,143
4	Construct "S" Curve Roundabouts	1,133,000	36%	408,139
5	Signalize Golf Club Road/Highway 22 EB Ramps and Install EB Right Turn Lane	257,500	36%	92,759
6	Signalize Golf Club Road/Mill Creek Rd	180,250	100%	180,250
7	Cascade Highway/Whitney Street signalization with EB and WB Left Turn Lanes and Realign Golf Lane	1,545,000	100%	1,545,000
8	Washington St/Ida Street/Wilco Road/Santiam Road Roundabout	956,000	100%	956,000
9	Fern Ridge Road	1,661,800	36%	598,628
10	Washington St./1st Avenue Intersection Improvements	445,800	36%	160,590
11	1st Avenue/Santiam Bridge to Water St. Reconstruction & Rehab.	209,800	36%	75,576
12	1st Avenue/Ida St. Intersection Improvements	445,800	36%	160,590
13	3rd Avenue/Washington St. Intersection Improvements	445,800	36%	160,590

Table 1. Transportation Capital Improvements Projects and Allocation to Growth cont.

#	Improvement Description	2005\$	Allocation to Growth	
			%	\$
14	1st Avenue/Hollister St. Intersection Improvements	304,200	36%	109,582
15	Improve 10th Street from Fern Ridge to E. Santiam	1,250,000	36%	450,286
16	Future Collector Streets	21,400,000	28%	5,992,000
Total roadway improvements		\$35,951,450	36%	\$12,949,239
<b>Bicycle &amp; Pedestrian Improvements</b>				
1	Shaff Road--south side between Wilco Road and Gardner Street	\$90,000	36%	32,421
2	Shaff Road--north side, east of Douglas Street	32,000	36%	11,527
3	Fern Ridge Road--north side, intermittent sections between 1 <sup>st</sup>	81,000	36%	29,179
4	Washington Street--north side, east of Myrtle Avenue	33,000	36%	11,888
5	Washington Street--south side, from Wilco Road to Evergreen Avenue	148,000	36%	53,314
6	Ida Street--south side, intermittent sections between Noble Avenue and eastern city limits	89,000	36%	32,060
7	Santiam Street--both sides, intermittent sections between Highland Drive and eastern city limits	90,000	36%	32,421
8	Locust Street--north side, intermittent sections between Wilco Road and 1st Avenue	28,000	36%	10,086
Total bicycle & pedestrian		\$591,000	36%	\$212,895
Total		\$36,542,450		\$13,162,135

The 2004 TSP projected traffic for a twenty-year period, based on population growth with an average annual growth rate of 2%. Marion County has since adopted a forecast of population to 2030 and projected an average 1.6% annual increase within Stayton. The City of Stayton has used this projection in its Comprehensive Plan Update. The Update Committee believes a projected growth rate of 2% is too high and may have resulted in an unrealistic overestimation of the City's population in 2025 and therefore traffic levels at that time. If population and traffic estimates are too high, the models of how the street system will operate in the future will not be accurate, and the TSP may be calling for highway improvements that will not be necessary.

In addition to the slow-down in population growth from the projection used in the TSP, the other significant factor is the result of the 2007 Recession on employment levels in the City. Chapter 7 of the draft Comprehensive Plan indicates that approximately 1,000 jobs were lost within the City. This has the result of traffic levels decreasing in the City since time the TSP was prepared.

These two factors, slowed population growth and decline of economic activity during the past five years, make it likely that a number of projects that are included in CIP list will not be needed within the 20-year horizon on which SDCs should be based. The Update Committee believes that the projects listed in Table 2 below are not likely to be constructed during the next 20 years and could be removed from the CIP for purposes of calculating the SDC. There are two items in Table 2 in which only a portion of the estimated costs from Table 1 are included. These are items 3 and 16. Item 3 is the signalization of the Golf Club Road/Wilco Road/Shaff Road intersection and the widening of Golf Club Road between Highway 22 and Shaff Road to 5 lanes. The Update Committee believes while it is likely that the intersection signalization will occur, it is unlikely that traffic volumes on Golf Club Road will increase to the point that it is necessary for the entire length of the road to be widened to five

lanes. Based on cost estimates prepared in 2007 for the signalization of the intersection, Table 2 removes \$1.03 million of cost for Golf Club Road widening. Item 16 is the construction of future collector streets throughout the Urban Growth Area. With a fresh assumption about the amount of growth to take place in the next twenty years, instead of looking at complete build-out of the UGA, Table 2 includes half of the amount for future collector streets.

Table 2. Transportation Projects not Likely to be Constructed before 2030, with Cost and Impact on SDC

#	Improvement Description	2005\$	SDC for Project	Cumulative SDC
2	Cascade Highway/1st Avenue Widening from Highway 22 to Regis Street - widen to 5 lanes with sidewalks	556,554	106.23	106.23
3	Widen Golf Club Road from Highway 22 to Shaff Road - widen to 5 lanes with sidewalks and signalize Golf Club Road-Wilco Road/Shaff Road intersection	1,030,000	70.82	177.05
4	Construct "S" Curve Roundabouts	408,139	77.90	254.95
5	Signalize Golf Club Road/Highway 22 EB Ramps and Install EB Right Turn Lane	92,759	17.70	272.65
6	Signalize Golf Club Road/Mill Creek Rd	180,250	34.40	307.05
8	Washington St/Ida Street/Wilco Road/Santiam Road Roundabout	956,000	182.46	489.51
16	Future Collector Streets	2,996,000	571.82	1,061.33

If the seven projects listed in Table 2 were deleted from the CIP for purposes of calculating the Transportation SDC, the SDC would be reduced by \$1,061 per PM Peak Hour trip, from the current \$2,512 to \$1,451. If removed from the SDC calculations, these projects, with updated cost estimates, should be reinserted when future conditions warrant.

### Trip Generation Rate

In addition to changing the total dollar amount of the capital improvements on which the SDC is based, the 2007 amendments also made a change in the way the Transportation SDC is calculated. As mentioned above, highway planning is based on peak hour traffic levels. Therefore, the SDC is based on the amount of traffic a use is likely to generate during the weekday PM peak hour. If a use, such as a church, does not contribute much to the weekday afternoon traffic load, its impact on the street system, and therefore its SDC, will not be as significant as a use that does, such as a drive-through fast food restaurant, even if the two uses have the same average daily traffic.

There is a publication that compiles the results of traffic studies around the country, known as the *Traffic Generation Manual*. This is the standard reference that is used by transportation planners. It provides statistics on the amount of traffic likely to be generated by hundreds of different land uses. For most land uses, the *Manual* lists the number of studies used to generate the statistics, the range of trips in those studies and the average. The previous SDC schedule indicated that the SDC was based on the mid-point between the Low and the Average number of trips reported in the *Manual*. The 2007 amendments changed the methodology to use the Average number of trips. The methodology at that time noted that

the number of trips used to assess the SDC for a single family house is currently 0.72 trips per PM peak-hour; it is the mid point between the low (0.42) and average (1.02) trips reported in the ITE manual, which is summarized in the Appendix. In the proposed change, the number to be used will be the average (1.02 trips), a 41.7 percent increase. This change, coupled with the 29.8 percent increase in the SDC rate for a single trip, results in an overall increase of 83.8 percent

(1.417 x 1.298 -1.0). Apartments incur the largest increase in the examples, because of the large increase from the current Low/Average and Average number of trips. Other uses that have a very small difference between the Low/Average and the Average incur a smaller increase, such as Senior Adult Housing and Recreational Community Center.

Which level of trip generation to use is a policy decision to be made by the City. The City Council may want to consider which level of trip generation is appropriate to use in Stayton.

### Accounting for Completed Projects

Table 1 above includes several projects that the City has completed or will soon be completed and for which SDC Funds were expended. Table 3 presents three projects for which either have been completed or for which SDC funds have been expended since adoption of the current SDC schedule and the end of Fiscal Year 2011.

Table 3. Complete or Partially Complete Transportation Projects on which SDC Funds have been spent since 2007

#	Improvement Description	2005\$	SDC for Project	Calculated SDC	Actual SDC Expenditure
1	Highway 22 Joseph Street project--Highway 22 widening and reconstruction of Cascade Highway interchange	\$51,500	36%	18,552	\$59,920
7	Cascade Highway/Whitney Street signalization with EB and WB Left Turn Lanes and Realign Golf Lane*	1,545,000	100%	1,545,000	\$328,938
15	Improve 10th Street from Fern Ridge to E. Santiam**	1,250,000	36%	450,286	\$203,475

\* complete project includes relocation of Golf Lane to align with Whitney St; only signalization has been completed

\*\* project not complete—additional SDC funds to be expended in FY 2012 and 2013

The City's complete contribution to the Highway 22 interchange project was charged to the SDC fund, instead of only 36% of the City's share of the costs.

As transportation projects are completed, the City should revise the SDC schedule to reflect the City's actual costs, rather than estimated costs.

### **Water System Development Charge**

With the adoption of the 2006 Water Master Plan (WMP) and the revised cost estimates for the improvements to the water treatment and distribution system, the water SDC increased from \$2,332 to \$2,670 for a 3/4" inch meter. Unlike the transportation SDC, which is strictly an improvement fee, the water SDC includes both a reimbursement fee and an improvement fee. The reimbursement fee portion of the SDC was calculated based on an estimate of the depreciated value of the water system in 2006 and a comparison of the capacity of the system with the current usage to determine the percentage of the value of the existing system that is available for growth. The majority of recent water SDC expenditures has been used to the pay debt service on past improvements to the water system, \$431,000 of \$606,000 between FY2006 through FY2011. The improvement fee is based on the estimate of \$19.7 million needed in various improvements to the water system called for in the 2006 WMP.

### Capital Improvements used to Calculate Charge

Table 4 presents the Capital Improvements Projects contained in the WMP and the allocation to growth for each project contained in the SDC methodology. The total cost on which the SDC calculation was based is \$12,807,214.

Table 4. Water System Capital Improvements Projects and Allocation to Growth

#	Improvement Description	2005\$	Allocation to Growth	
			%	\$
1	Pipeline Replacements and Upsizing	\$2,222,000	41%	\$911,020
2	Add Valves To Shaff Road	11,000	32%	3,520
3	Complete Leak Detection Study	25,000	0%	0
4	Meter Unmetered Facilities	68,000	0%	0
5	Repaint Interior & Exterior of Regis Tank	135,000	0%	0
6	Pine St. Booster Station	97,000	32%	31,040
7	Raw Water Intake Maintenance	24,400	0%	
8	Shallow Well Field	716,000	32%	229,120
9	Raw Water Weir Box Modifications	5,800	32%	1,856
10	Filter Turbidity meters	56,000	51%	28,560
11	Replace Filter # 3 Liner	542,000	0%	0
12	Soda Ash Feed Modifications	39,500	32%	12,640
13	On-site hypochlorite generation	220,000	51%	112,200
14	Clearwell Maintenance -- interior/exterior	94,000	0%	0
15	Finished Water Pumping Maintenance	6,700	0%	0
16	Plant Maintenance Shop / Entrance	359,000	62%	222,580
17	Plant Automation / Instrumentation	300,800	51%	153,408
18	Electrical Upgrade	116,000	0%	0
19	Emergency Power System	169,000	51%	86,190
20	Pipelines	1,695,000	0%	0
21	Replacement of Poor Water Services	418,000	0%	0
22	Secure Land for Tank/Well Site	150,000	100%	150,000
23	Regis Booster Station	182,000	62%	112,840
24	Install Radio-read Meter System	50,000	51%	25,500
25	Salem Inter-tie	58,000	62%	35,960
26	City Shop--50 % of total cost	410,000	62%	254,200
27	Individual Raw Water Flow Meters	72,000	51%	36,720
28	Security Upgrades	368,000	62%	228,160
29	Additional FW pump with VFD (200 hp)	170,000	100%	170,000
30	Additional Clearwell Capacity	510,000	100%	510,000
31	Abandon Schedule "M"	29,000	0%	0
32	Pine Street Add'l Capacity w/ VFDs	74,000	100%	74,000
33	Shallow Well Field Expansion	79,000	100%	79,000
34	Raw Water Weir Box Expansion	29,700	100%	29,700
35	Soda Ash System Expansion	29,000	100%	29,000
36	New Filter	750,000	100%	750,000
37	Fern Ridge Road	198,000	100%	198,000
38	16-inch Transmission Loop from Pine St.	779,000	100%	779,000
39	Abandon Regis Tank (2025)	42,000	0%	0
40	Construct New 5.0 MG Storage Reservoir	2,862,000	100%	2,862,000
41	3rd Avenue Future -- upsize cost	37,000	100%	37,000
42	Upsize Costs for Future Pipeline	990,000	62%	613,800
43	Shaff Road Pipeline	90,000	100%	90,000

Table 4. Water System Capital Improvements Projects and Allocation to Growth, cont.

#	Improvement Description	2005\$	Allocation to Growth	
			%	\$
44	Wilco Road Pipeline	132,000	100%	132,000
45	East Pine Street Small Booster	130,000	100%	130,000
46	Mill Creek Booster Station	427,000	100%	427,000
47	Construct Deep Well -- Backup Supply	1,333,000	100%	1,333,000
48	Replace 100-hp pump with 200-hp pump	115,000	100%	115,000
49	New Independent Intake Facility and Pipeline	2,250,000	62%	1,395,000
Total		\$19,665,900		\$12,807,214

The CIP table in the water SDC methodology report divides the cost of each project by different factors depending on when the project might be implemented and the cumulative increase in capacity. Some projects were planned for construction before 2015. Some projects are planned for between 2015 and 2025, and others for after 2025. Later projects have a larger increase in the system capacity associated with them and therefore a smaller individual SDC per dollar of cost than earlier projects. Table 5 presents the projects from Table 4 with costs allocated to growth and the SDC per gallon per day for each project.

Table 5. Water System Capital Improvements Projects Allocated to Growth and the Calculated SDC

#	Improvement Description	Allocation to Growth	Individual SDC	Cumulative SDC
1	Pipeline Replacements and Upsizing	\$911,020	\$0.169	\$0.169
2	Add Valves to Shaff Road	3,520	0.003	0.172
6	Pine St. Booster Station	31,040	0.026	0.198
8	Shallow Well Field	229,120	0.192	0.390
9	Raw Water Weir Box Modifications	1,856	0.002	0.392
10	Filter Turbidity meters	28,560	0.009	0.401
12	Soda Ash Feed Modifications	12,640	0.011	0.412
13	On-site hypochlorite generation	112,200	0.034	0.446
16	Plant Maintenance Shop / Entrance	222,580	0.041	0.487
17	Plant Automation / Instrumentation	153,408	0.047	0.534
19	Emergency Power System	86,190	0.026	0.560
22	Secure Land for Tank/Well Site	150,000	0.028	0.588
23	Regis Booster Station	112,840	0.021	0.609
24	Install Radio-read Meter System	25,500	0.008	0.617
25	Salem Inter-tie	35,960	0.007	0.624
26	City Shop--50 % of total cost	254,200	0.047	0.671
27	Individual Raw Water Flow Meters	36,720	0.011	0.682
28	Security Upgrades	228,160	0.042	0.724
29	Additional FW pump with VFD (200 hp)	170,000	0.052	0.776
30	Additional Clearwell Capacity	510,000	0.095	0.871
32	Pine Street Add'l Capacity w/ VFDs	74,000	0.014	0.885
33	Shallow Well Field Expansion	79,000	0.024	0.909
34	Raw Water Weir Box Expansion	29,700	0.009	0.918
35	Soda Ash System Expansion	29,000	0.009	0.927
36	New Filter	750,000	0.139	1.066

Table 5. Water System Capital Improvements Projects Allocated to Growth and the Calculated SDC, cont.

#	Improvement Description	Allocation to Growth	Individual SDC	Cumulative SDC
37	Fern Ridge Road	198,000	0.037	1.103
38	16-inch Transmission Loop from Pine St.	779,000	0.145	1.248
40	Construct New 5.0 MG Storage Reservoir	2,862,000	0.532	1.780
41	3rd Avenue Future -- upsize cost	37,000	0.007	1.787
42	Upsize Costs for Future Pipeline	613,800	0.114	1.901
43	Shaff Road Pipeline	90,000	0.017	1.918
44	Wilco Road Pipeline	132,000	0.025	1.943
45	East Pine Street Small Booster	130,000	0.024	1.967
46	Mill Creek Booster Station	427,000	0.079	2.046
47	Construct Deep Well -- Backup Supply	1,333,000	0.248	2.294
48	Replace 100-hp pump with 200-hp pump	115,000	0.021	2.315
49	New Independent Intake Facility and Pipeline	1,395,000	0.259	2.574

The 2006 WMP projected water demand based on an average annual growth rate of 3.35%. Marion County has since adopted a forecast of population to 2030 and projected an average 1.6% annual increase within Stayton. The City of Stayton has used this projection in its Comprehensive Plan Update. The Update Committee believes a projected growth rate of 3.35% is too high and may have resulted in an unrealistic overestimation of the City's population in 2025 and therefore demand for water at that time. If population and water demand projections are too high, the models of how the water system will operate in the future will not be accurate, and the WMP may be calling for system improvements that may not be necessary.

In addition to the slow-down in population growth from the projection used in the WMP, the other significant factor is that the City's largest water consumer, Norpac Foods, has significantly reduced its water consumption in recent years. The plant accounts for over half of the city-wide water demand during its produce processing season and has substantially increased the efficiency of its processing. As a result, its water consumption has decreased by approximately one third.

These two factors, slowed population growth and reduction in industrial consumption, make it likely that a number of projects that are included in the CIP list will not be needed within the 20-year horizon on which SDCs should be based. The Update Committee believes that the projects listed in Table 6 below may not be likely to be constructed during the next 20 years and could be removed from the CIP for purposes of calculating the SDC.

Table 6. Water Projects not Likely to be Constructed before 2030, with Cost and Impact on SDC

#	Improvement Description	2005\$	SDC for Project	Cumulative SDC
40	Construct New 5.0 MG Storage Reservoir	2,862,000	0.532	0.532
47	Construct Deep Well -- Backup Supply	1,333,000	0.248	0.780
49	New Independent Intake Facility and Pipeline	1,395,000	0.259	1.039

If the three projects listed in Table 6 were deleted from the CIP for purposes of calculating the Water SDC, the SDC would be reduced by \$1.039 per gallon of consumption, from the current \$2,670 to \$1,631.

However it should be noted that a recalculation of the reimbursement fee portion of the SDC factoring in the decreased demand will result in an increase of the fee because the depreciated value of the water system will have increased and the excess capacity in the system will also have increased.

Accounting for Completed Projects

Table 5 above includes a number of projects that the City has completed and for which SDC Funds were expended. The City completed a series of improvements to the Water Treatment Plant in 2010 and a number of distribution system improvements have been made in recent years as well. The complexities of the City’s bookkeeping system did not allow for the preparation of a table of completed projects and the SDC funds expended for this report. It will take longer to complete that task.

As water system improvement projects are completed, the City should revise the SDC schedule to reflect the City’s actual costs, rather than estimated costs.

**Wastewater System Development Charge**

With the adoption of the 2006 Wastewater Master Plan (WWMP) and the revised cost estimates for the improvements to the wastewater treatment and distribution system, the wastewater SDC increased from \$3,197 to \$3,528 for a 3/4” inch water meter. Like the water SDC, the wastewater SDC includes both a reimbursement fee and an improvement fee. The reimbursement fee portion of the wastewater SDC was calculated based on an estimate of the depreciated value of the wastewater system in 2006 and a comparison of the capacity of the system with the current usage to determine the percentage of the value of the existing system that is available for growth. The majority of recent wastewater SDC expenditures has been used to pay debt service on past improvements to the wastewater system – \$581,000 of \$834,000 between FY2006 through FY2011. The improvement fee is based on the estimated of \$23.4 million needed in various improvements to the wastewater system called for in the 2006 WWMP.

Capital Improvements used to Calculate Charge

Table 7 presents the Capital Improvements Projects contained in the WWMP and the allocation to growth for each project contained in the SDC methodology. The total cost on which the SDC calculation was based is \$13,174,540.

Table 7. Wastewater System Capital Improvements Projects and Allocation to Growth

#	Improvement Description	2005\$	Allocation to Growth	
			%	\$
1.	Mill Creek Project	\$4,482,000	0%	0
2.	Wilco Electrical Upgrades	80,000	0%	0
3.	Gardner wastewater Shed -- I/I Reduction	250,000	0%	0
4.	Upgrades to Industrial LS	55,000	0%	0
5.	Annual Pipeline Replacement	0	0%	0
6.	UV Upgrades -- Phase 1 (3.4 MGD)	\$200,000	48%	96,000
7.	New Filter	750,000	100%	750,000
8.	Solids handling Upgrades	350,000	48%	168,000
9.	Headworks -- Backup Level Controls	10,000	48%	4,800
10.	Batch Fill Basin	850,000	48%	408,000
11.	Batch Reactor upgrades	290,000	48%	139,200
12.	EQ Basin Improvements	140,000	48%	67,200
13.	Plant Utility Water System	100,000	48%	48,000

Table 7. Wastewater System Capital Improvements Projects and Allocation to Growth, cont.

#	Improvement Description	2005\$	Allocation to Growth	
			%	\$
14	Maintenance and Storage Building	350,000	48%	168,000
15	Maintenance Management Program	200,000	0%	0
16	Convert Oxidation Ditch to Aerated Sldg Strg	250,000	48%	120,000
17	Repair Liquid Sludge Transfer Pump	50,000	48%	24,000
18	Spare Parts: Stblztn/Dewtrg Sys	65,000	48%	31,200
19	Sludge Thickener	830,000	48%	398,400
20	Rehab Aerated Storage tank	100,000	48%	48,000
21	Upgrade wastewater Debris Cleaning area	30,000	0%	0
22	Extend River Outfall	500,000	48%	240,000
23	Gardner Road Interceptor	692,000	61%	422,120
24	Fern Ridge Interceptor	127,000	100%	127,000
25	24-inch Force Main Extension	535,000	100%	535,000
26	Purchase T.V. Equipment	400,000	48%	192,000
27	Add 3rd Pump to Mill Creek Lift Sta	100,000	100%	100,000
28	PW Facility -- 50% of Cost	552,800	48%	265,344
29	New Headworks Screens	270,000	100%	270,000
30	Parallel 2.0 MGD MBR Plant	5,900,000	100%	5,900,000
31	EQ Basin Upgrades	120,000	50%	60,000
32	Cover Existing UV Structure	100,000	48%	48,000
33	UV Upgrades -- Phase 2 (3.4 MGD)	200,000	100%	200,000
34	Purchase of 80 acres for Land Disposal	560,000	48%	268,800
35	Land Buffer around WWTP	200,000	100%	200,000
36	Ida-Evergreen Interceptor	1,455,000	48%	698,400
37	UV Upgrades -- Phase 3 (3.4 MGD)	200,000	100%	200,000
38	Class A Solids Drying System	2,035,000	48%	976,800
Total		\$23,378,800		\$13,174,540

The CIP table in the wastewater SDC methodology report divides the cost of each project by different factors depending on when the project might be implemented and the cumulative increase in capacity for the project. Most projects were planned for construction before 2015 and a many of them have been accomplished. The city is currently undertaking a major expansion of the wastewater treatment plant. Table 8 presents the projects from Table 7 with costs allocated to growth and the SDC per gallon per day for each project.

Table 8. Wastewater System Capital Improvements Projects Allocated to Growth and the Calculated SDC

#	Improvement Description	Allocation to Growth	Individual SDC	Cumulative SDC
6	UV Upgrades -- Phase 1 (3.4 MGD)	\$96,000	0.0282	0.0282
7	New Filter	750,000	0.0949	0.1231
8	Solids handling Upgrades	168,000	0.0213	0.1444
9	Headworks -- Backup Level Controls	4,800	0.0006	0.1450
10	Batch Fill Basin	408,000	0.1360	0.2810
11	Batch Reactor upgrades	139,200	0.0464	0.3274

Table 8. Wastewater System Capital Improvements Projects Allocated to Growth and the Calculated SDC, cont.

#	Improvement Description	Allocation to Growth	Individual SDC	Cumulative SDC
12	EQ Basin Improvements	67,200	0.0224	0.3498
13	Plant Utility Water System	48,000	0.0160	0.3658
14	Maintenance and Storage Building	168,000	0.0560	0.4218
16	Convert Oxidation Ditch to Aerated Sldg Strg	120,000	0.0400	0.4618
17	Repair Liquid Sludge Transfer Pump	24,000	0.0080	0.4698
18	Spare Parts: Stblztn/Dewtrg Sys	31,200	0.0104	0.4802
19	Sludge Thickener	398,400	0.1328	0.6130
20	Rehab Aerated Storage tank	48,000	0.0160	0.6290
22	Extend River Outfall	240,000	0.0800	0.7090
23	Gardner Road Interceptor	422,120	0.0534	0.7624
24	Fern Ridge Interceptor	127,000	0.0161	0.7785
25	24-inch Force Main Extension	535,000	0.0677	0.8462
26	Purchase T.V. Equipment	192,000	0.0243	0.8705
27	Add 3rd Pump to Mill Creek Lift Sta	100,000	0.0127	0.8832
28	PW Facility -- 50% of Cost	265,344	0.0336	0.9168
29	New Headworks Screens	270,000	0.0342	0.9510
30	Parallel 2.0 MGD MBR Plant	5,900,000	2.9500	3.9010
31	EQ Basin Upgrades	60,000	0.0200	3.9210
32	Cover Existing UV Structure	48,000	0.0160	3.9370
33	UV Upgrades -- Phase 2 (3.4 MGD)	200,000	0.0588	3.9958
34	Purchase of 80 acres for Land Disposal	268,800	0.0896	4.0854
35	Land Buffer around WWTP	200,000	0.0667	4.1521
36	Ida-Evergreen Interceptor	698,400	0.2054	4.3575
37	UV Upgrades -- Phase 3 (3.4 MGD)	200,000	0.0588	4.4163
38	Class A Solids Drying System	976,800	0.1237	4.5400

The 2006 WWMP projected wastewater generation based on an average annual growth rate of 3.35%. Marion County has since adopted a forecast of population to 2030 and projected an average 1.6% annual increase within Stayton. The City of Stayton has used this projection in its Comprehensive Plan Update. The Update Committee believes a projected growth rate of 3.35% is too high and may have resulted in an unrealistic overestimation of the City's population in 2025 and therefore wastewater generation at that time. If population and wastewater generation projections are too high, the models of how the wastewater system will operate in the future will not be accurate, and the WWMP may be calling for system improvements that may not be necessary.

Unlike the water and transportation SDC a large majority of the improvement projects on the SDC capital improvements list were scheduled for relative quick implementation. Five projects, with a combined SDC allocation of \$2,344,000 were scheduled for 2015 or later. City Staff believe that only two of the projects listed in Table 8 below are likely to not be constructed during the next 20 years and should not be included in the calculation of the SDC. If removed, these two projects represent nearly 3/4 of the current improvement fee.

Table 9. Wastewater Projects not Likely to be Constructed before 2030, with Cost and Impact on SDC

#	Improvement Description	2005\$	SDC for Project	Cumulative SDC
30	Parallel 2.0 MGD MBR Plant	\$5,900,000	2.9500	2.9500
34	Purchase of 80 acres for Land Disposal	268,800	0.0896	3.0396

The current construction project includes the Class A Sludge Drying System and therefore the purchase of additional land for land disposal of sludge will not be necessary. Once the current construction project is completed, a review the increased capacity of the treatment facility compared to revised population projections and wastewater flow projections should be made before any decision is made to remove the MBR Plant from the SDC schedule.

Accounting for Completed Projects

Based on the 2006 WWMP, the City has commenced substantial improvement to the wastewater treatment facility and has completed other smaller projects. The treatment facility improvements currently under construction are projected to be completed in the summer of 2012. The total cost for the project is estimated at approximately \$13 million. The project encompasses many of the capital improvements included in Table 8. Once the project is complete, the city should revise the wastewater SDC calculation by including the value of the improved treatment facility in the reimbursement fee and removing the completed projects from the improvement fee.

In the review of the Wastewater SDC, it has been determined that incorrect information was used in calculating the current value of the City’s wastewater collection and treatment facilities. An appendix to the Wastewater SDC Schedule includes the current value of the system based on the date of construction, construction cost, useful life and annual depreciation. A number of components of the system have incorrect construction dates assigned to them, and therefore an inaccurate deduction for depreciation since time of construction. Some components are older than listed and should be more fully depreciated, others are younger than listed and have been depreciated by too high a percentage of their original cost. The Finance Department and the Public Works Department should work together to assure that correct data is included in the City’s schedule of fixed assets. When the Wastewater SDC is revised, correct dates should be used and depreciation adjusted accordingly.

**Parks System Development Charge**

Unlike the other SDCs, the Park SDC is collected only on new residential development. Each new dwelling unit pays the same SDC. The Park SDC is based on the adopted 2004 Park and Recreation Master Plan (PRMP). In 2007 the Park SDC increased from \$1,062 per dwelling unit to \$2,305. The Park SDC, includes only an improvement fee based on the PRMP’s projection of needed park area as the City grows in population, and a finding that there was a shortage of park space in the City at the time the Plan was written.

Capital Improvements used to Calculate Charge

Table 10 presents the Capital Improvements Projects contained in the PRMP. The total cost for the improvements was estimated at \$17,576,563. The 2007 SDC schedule allocated 50.7% of the costs for the parks improvements to growth. Further, the SDC schedule assumes that city will receive grants and donations and issue a general obligation bond to finance park improvements. The total cost on which the SDC calculation was based is \$5,985,638.

Table 10. Park Improvements Projects

#	Improvement Description	Type of Park	Estimated Cost
1.	Golf Lane Park (proposed)	Community	\$2,143,750
2.	Community Center Complex (existing)	Community	192,500
3.	Mehama Road Park (proposed)	Community	3,500,000
4.	Skateboard Area	Community	281,250
5.	Stayton Ditch Park (proposed)	Linear	2,987,500
6.	Salem Ditch Park (proposed)	Linear	3,564,750
7.	Lucas Ditch Park (proposed)	Linear	264,375
8.	Santiam Highway ROW (proposed)	Linear	1,955,000
9.	Westtown Park (existing)	Mini	\$51,250
10.	Fir Street Park (proposed)	Mini	421,875
11.	Northslope Park (existing)	Mini	133,000
12.	Northslope Park (proposed)	Mini	41,500
13.	Quail Run Park (existing)	Neighborhood	73,125
14.	Ida Street Park (proposed)	Neighborhood	816,250
15.	Santiam Park (undeveloped)	Neighborhood	147,938
16.	Neitling Property: (existing)	Neighborhood	400,000
17.	Pioneer Park: (existing)	Neighborhood	128,125
18.	Pine Street Park (proposed)	Neighborhood	412,500
19.	Mill Creek Greenway (proposed)	Open Space	21,875
20.	Wilderness Park (existing)	Open Space	0
21.	N. Santiam River Greenway	Open Space	0
22.	Santiam River Island	Open Space	40,000
			\$17,576,563

The PRMP estimates the amount of new park space needed based on per person requirements and projections of the City’s population. The PRMP assumed an average annual 3.6% growth in population and based the 2020 parks needs on a projected population of 13,827. Marion County has since adopted a forecast of population to 2030 and projected an average 1.6% annual increase within Stayton. The City of Stayton has used this projection in its Comprehensive Plan Update. The Update Committee believes a projected growth rate of 3.6% is too high and may have resulted in an unrealistic overestimation of the City’s population in 2020 and therefore the need for park space at that time. The PRMP may be calling for park system improvements that may not be necessary.

Table 11 presents the standards in the PRMP for various types of parks, the additional park acreage needed in 2020 in the PRMP and the additional park acreage needed in 2020 using the lower

Table 11. Park Needs with Revised Population Projections

Type of Park	PRMP Standard	2000 Existing	PRMP Additional Need	Revised Additional Need
Community	3.45	7.65	40.05	26.08
Linear	7.88	0.00	108.96	77.04
Mini	0.29	1.80	2.21	1.04
Neighborhood	1.74	9.00	15.06	8.01
Open Space	15.26	106.00	105.00	43.20
Total		124.45	271.28	155.37

population estimate from the revised growth rates. Using the lower population results in a decrease of 116 acres of park land needed. It will not necessarily result in a similar decrease the SDC due to the number of projects that are improvements to existing parks.

### **Storm Water System Development Charge**

The City Council adopted a Storm Water Master Plan (SWMP) in 2010. That plan includes a capital improvements plan calling for a total of \$25,939,600 in new investment (in 2007 dollars). The plan recommends the establishment of an SDC to assist pay for some of the recommended capital improvements. However, the City has yet to establish a storm water SDC.

## **OREGON REVISED STATUTES, CHAPTER 223 SYSTEM DEVELOPMENT CHARGES**

**223.297 Policy.** The purpose of ORS 223.297 to 223.314 is to provide a uniform framework for the imposition of system development charges by local governments, to provide equitable funding for orderly growth and development in Oregon's communities and to establish that the charges may be used only for capital improvements.

**223.299 Definitions for ORS 223.297 to 223.314.** As used in ORS 223.297 to 223.314:

- (1) (a) "Capital improvement" means facilities or assets used for the following:
  - (A) Water supply, treatment and distribution;
  - (B) Waste water collection, transmission, treatment and disposal;
  - (C) Drainage and flood control;
  - (D) Transportation; or
  - (E) Parks and recreation.
- (b) "Capital improvement" does not include costs of the operation or routine maintenance of capital improvements.
- (2) "Improvement fee" means a fee for costs associated with capital improvements to be constructed.
- (3) "Reimbursement fee" means a fee for costs associated with capital improvements already constructed, or under construction when the fee is established, for which the local government determines that capacity exists.
- (4) (a) "System development charge" means a reimbursement fee, an improvement fee or a combination thereof assessed or collected at the time of increased usage of a capital improvement or issuance of a development permit, building permit or connection to the capital improvement. "System development charge" includes that portion of a sewer or water system connection charge that is greater than the amount necessary to reimburse the local government for its average cost of inspecting and installing connections with water and sewer facilities.
- (b) "System development charge" does not include any fees assessed or collected as part of a local improvement district or a charge in lieu of a local improvement district assessment, or the cost of complying with requirements or conditions imposed upon a land use decision, expedited land division or limited land use decision.

**223.300** [Repealed]

### **223.301 Certain system development charges and methodologies prohibited.**

- (1) As used in this section, "employer" means any person who contracts to pay remuneration for, and secures the right to direct and control the services of, any person.
- (2) A local government may not establish or impose a system development charge that requires an employer to pay a reimbursement fee or an improvement fee based on:
  - (a) The number of individuals hired by the employer after a specified date; or
  - (b) A methodology that assumes that costs are necessarily incurred for capital improvements when an employer hires an additional employee.

- (3) A methodology set forth in an ordinance or resolution that establishes an improvement fee or a reimbursement fee shall not include or incorporate any method or system under which the payment of the fee or the amount of the fee is determined by the number of employees of an employer without regard to new construction, new development or new use of an existing structure by the employer.

**223.302 System development charges; use of revenues; review procedures.**

- (1) Local governments are authorized to establish system development charges, but the revenues produced therefrom must be expended only in accordance with ORS 223.297 to 223.314. If a local government expends revenues from system development charges in violation of the limitations described in ORS 223.307, the local government shall replace the misspent amount with moneys derived from sources other than system development charges. Replacement moneys must be deposited in a fund designated for the system development charge revenues not later than one year following a determination that the funds were misspent.
- (2) Local governments shall adopt administrative review procedures by which any citizen or other interested person may challenge an expenditure of system development charge revenues. Such procedures shall provide that such a challenge must be filed within two years of the expenditure of the system development charge revenues. The decision of the local government shall be judicially reviewed only as provided in ORS 34.010 to 34.100.
- (3) (a) A local government must advise a person who makes a written objection to the calculation of a system development charge of the right to petition for review pursuant to ORS 34.010 to 34.100.
- (b) If a local government has adopted an administrative review procedure for objections to the calculation of a system development charge, the local government shall provide adequate notice regarding the procedure for review to a person who makes a written objection to the calculation of a system development charge.

**223.304 Determination of amount of system development charges; methodology; credit allowed against charge; limitation of action contesting methodology for imposing charge; notification request.**

- (1) (a) Reimbursement fees must be established or modified by ordinance or resolution setting forth a methodology that is, when applicable, based on:
- (A) Ratemaking principles employed to finance publicly owned capital improvements;
  - (B) Prior contributions by existing users;
  - (C) Gifts or grants from federal or state government or private persons;
  - (D) The value of unused capacity available to future system users or the cost of the existing facilities; and
  - (E) Other relevant factors identified by the local government imposing the fee.
- (b) The methodology for establishing or modifying a reimbursement fee must:
- (A) Promote the objective of future system users contributing no more than an equitable share to the cost of existing facilities.
  - (B) Be available for public inspection.
- (2) Improvement fees must:

- (a) Be established or modified by ordinance or resolution setting forth a methodology that is available for public inspection and demonstrates consideration of:
    - (A) The projected cost of the capital improvements identified in the plan and list adopted pursuant to ORS 223.309 that are needed to increase the capacity of the systems to which the fee is related; and
    - (B) The need for increased capacity in the system to which the fee is related that will be required to serve the demands placed on the system by future users.
  - (b) Be calculated to obtain the cost of capital improvements for the projected need for available system capacity for future users.
- (3) A local government may establish and impose a system development charge that is a combination of a reimbursement fee and an improvement fee, if the methodology demonstrates that the charge is not based on providing the same system capacity.
- (4) The ordinance or resolution that establishes or modifies an improvement fee shall also provide for a credit against such fee for the construction of a qualified public improvement. A “qualified public improvement” means a capital improvement that is required as a condition of development approval, identified in the plan and list adopted pursuant to ORS 223.309 and either:
- (a) Not located on or contiguous to property that is the subject of development approval; or
  - (b) Located in whole or in part on or contiguous to property that is the subject of development approval and required to be built larger or with greater capacity than is necessary for the particular development project to which the improvement fee is related.
- (5) (a) The credit provided for in subsection (4) of this section is only for the improvement fee charged for the type of improvement being constructed, and credit for qualified public improvements under subsection (4)(b) of this section may be granted only for the cost of that portion of such improvement that exceeds the local government’s minimum standard facility size or capacity needed to serve the particular development project or property. The applicant shall have the burden of demonstrating that a particular improvement qualifies for credit under subsection (4)(b) of this section.
- (b) A local government may deny the credit provided for in subsection (4) of this section if the local government demonstrates:
- (A) That the application does not meet the requirements of subsection (4) of this section; or
  - (B) By reference to the list adopted pursuant to ORS 223.309, that the improvement for which credit is sought was not included in the plan and list adopted pursuant to ORS 223.309.
- (c) When the construction of a qualified public improvement gives rise to a credit amount greater than the improvement fee that would otherwise be levied against the project receiving development approval, the excess credit may be applied against improvement fees that accrue in subsequent phases of the original development project. This subsection does not prohibit a local government from providing a greater credit, or from establishing a system providing for the transferability of credits, or from providing a credit for a capital improvement not identified in the plan and list adopted pursuant to ORS 223.309, or from providing a share of the cost of such improvement by other means, if a local government so chooses.

- (d) Credits must be used in the time specified in the ordinance but not later than 10 years from the date the credit is given.
- (6) Any local government that proposes to establish or modify a system development charge shall maintain a list of persons who have made a written request for notification prior to adoption or amendment of a methodology for any system development charge.
- (7) (a) Written notice must be mailed to persons on the list at least 90 days prior to the first hearing to establish or modify a system development charge, and the methodology supporting the system development charge must be available at least 60 days prior to the first hearing. The failure of a person on the list to receive a notice that was mailed does not invalidate the action of the local government. The local government may periodically delete names from the list, but at least 30 days prior to removing a name from the list shall notify the person whose name is to be deleted that a new written request for notification is required if the person wishes to remain on the notification list.  
  
(b) Legal action intended to contest the methodology used for calculating a system development charge may not be filed after 60 days following adoption or modification of the system development charge ordinance or resolution by the local government. A person shall request judicial review of the methodology used for calculating a system development charge only as provided in ORS 34.010 to 34.100.
- (8) A change in the amount of a reimbursement fee or an improvement fee is not a modification of the system development charge methodology if the change in amount is based on:
  - (a) A change in the cost of materials, labor or real property applied to projects or project capacity as set forth on the list adopted pursuant to ORS 223.309; or
  - (b) The periodic application of one or more specific cost indexes or other periodic data sources. A specific cost index or periodic data source must be:
    - (A) A relevant measurement of the average change in prices or costs over an identified time period for materials, labor, real property or a combination of the three;
    - (B) Published by a recognized organization or agency that produces the index or data source for reasons that are independent of the system development charge methodology; and
    - (C) Incorporated as part of the established methodology or identified and adopted in a separate ordinance, resolution or order.

**223.305** [Repealed]

**223.307 Authorized expenditure of system development charges.**

- (1) Reimbursement fees may be spent only on capital improvements associated with the systems for which the fees are assessed including expenditures relating to repayment of indebtedness.
- (2) Improvement fees may be spent only on capacity increasing capital improvements, including expenditures relating to repayment of debt for such improvements. An increase in system capacity may be established if a capital improvement increases the level of performance or service provided by existing facilities or provides new facilities. The portion of the improvements funded by improvement fees must be related to the need for increased capacity to provide service for future users.
- (3) System development charges may not be expended for costs associated with the construction of administrative office facilities that are more than an incidental part of other capital

improvements or for the expenses of the operation or maintenance of the facilities constructed with system development charge revenues.

- (4) Any capital improvement being funded wholly or in part with system development charge revenues must be included in the plan and list adopted by a local government pursuant to ORS 223.309.
- (5) Notwithstanding subsections (1) and (2) of this section, system development charge revenues may be expended on the costs of complying with the provisions of ORS 223.297 to 223.314, including the costs of developing system development charge methodologies and providing an annual accounting of system development charge expenditures.

**223.309 Preparation of plan for capital improvements financed by system development charges; modification.**

- (1) Prior to the establishment of a system development charge by ordinance or resolution, a local government shall prepare a capital improvement plan, public facilities plan, master plan or comparable plan that includes a list of the capital improvements that the local government intends to fund, in whole or in part, with revenues from an improvement fee and the estimated cost, timing and percentage of costs eligible to be funded with revenues from the improvement fee for each improvement.
- (2) A local government that has prepared a plan and the list described in subsection (1) of this section may modify the plan and list at any time. If a system development charge will be increased by a proposed modification of the list to include a capacity increasing capital improvement, as described in ORS 223.307 (2):
  - (a) The local government shall provide, at least 30 days prior to the adoption of the modification, notice of the proposed modification to the persons who have requested written notice under ORS 223.304 (6).
  - (b) The local government shall hold a public hearing if the local government receives a written request for a hearing on the proposed modification within seven days of the date the proposed modification is scheduled for adoption.
  - (c) Notwithstanding ORS 294.160, a public hearing is not required if the local government does not receive a written request for a hearing.
  - (d) The decision of a local government to increase the system development charge by modifying the list may be judicially reviewed only as provided in ORS 34.010 to 34.100.

**223.310 [repealed]**

**223.311 Deposit of system development charge revenues; annual accounting.**

- (1) System development charge revenues must be deposited in accounts designated for such moneys. The local government shall provide an annual accounting, to be completed by January 1 of each year, for system development charges showing the total amount of system development charge revenues collected for each system and the projects that were funded in the previous fiscal year.
- (2) The local government shall include in the annual accounting:
  - (a) A list of the amount spent on each project funded, in whole or in part, with system development charge revenues; and

- (b) The amount of revenue collected by the local government from system development charges and attributed to the costs of complying with the provisions of ORS 223.297 to 223.314, as described in ORS 223.307.

**223.312** [repealed]

**223.313 Application of ORS 223.297 to 223.314.**

- (1) ORS 223.297 to 223.314 shall apply only to system development charges in effect on or after July 1, 1991.
- (2) The provisions of ORS 223.297 to 223.314 shall not be applicable if they are construed to impair bond obligations for which system development charges have been pledged or to impair the ability of local governments to issue new bonds or other financing as provided by law for improvements allowed under ORS 223.297 to 223.314.

**223.314 Establishment or modification of system development charge not a land use decision.**

The establishment, modification or implementation of a system development charge, or a plan or list adopted pursuant to ORS 223.309, or any modification of a plan or list, is not a land use decision pursuant to ORS chapters 195 and 197.

STAYTON MUNICIPAL CODE, TITLE 13  
CHAPTER 13.12 SYSTEMS DEVELOPMENT CHARGE

**13.12.205 DEFINITIONS**

The following words and phrases, as used in Chapter 13.12 of the Stayton Municipal Code, have the following definitions and meanings:

1. **CAPITAL IMPROVEMENT(S)**: Public facilities or assets used for any of the following:
  - a. Water supply, treatment, and distribution;
  - b. Sanitary sewers, including collection, transmission, and treatment;
  - c. Storm sewers, including drainage and flood control;
  - d. Transportation, including but not limited to streets, sidewalks, bike lanes and paths, street lights, traffic signs and signals, street trees, public transportation, vehicle parking, and bridges; or
  - e. Parks and recreation, including but not limited to mini-neighborhood parks, neighborhood parks, community parks, public open spaces and trail systems, buildings, courts, fields, and other like facilities.
2. **DEVELOPMENT**: As used in sections 13.12.210 through 13.12.245, means constructing or enlarging a building or adding facilities or making a physical change in the use of a structure or land which increases the usage of any capital improvements or which will contribute to the need for additional or enlarged capital improvements.
3. **PUBLIC IMPROVEMENT CHARGE**: A fee for costs associated with capital improvements to be constructed after July 3, 1991. "Public improvement charge" shall have the same meaning as the term "improvement fee" as defined in ORS 223.299(2). (Ord. 874, section 44, 2004)
4. **QUALIFIED PUBLIC IMPROVEMENTS**: A capital improvement that is required as a condition of development approval and is identified in the plan adopted pursuant to subsection 13.12.230.1. However, it does not include improvements sized or established to meet only the demands created by a development.
5. **REIMBURSEMENT FEE**: A fee for costs associated with capital improvements constructed or under construction on the date the fee is adopted pursuant to section 13.12.220.
6. **SYSTEM DEVELOPMENT CHARGE**: A reimbursement fee, a public improvement charge, or a combination thereof, assessed or collected at any of the times specified in section 13.12.235. It shall not include connection or hook-up fees for sanitary sewers, storm drains, or water lines, since such fees are designed by the city only to reimburse the city for the costs for such connections. Nor shall the system development charge include costs for capital improvements which by city policy and state statute are paid for by assessments or fees in lieu of assessments for projects of special benefit to a property.

**13.12.210 PURPOSE**

The purpose of the system development charge (SDC) is to impose an equitable share of the public costs of capital improvements upon those developments that create the need for or increase the demands on capital improvements.

**13.12.215 SCOPE**

The system development charge imposed by Chapter 13.12 of the Stayton Municipal Code is separate from and in addition to any applicable tax, assessment, charge, fee in lieu of assessment, or fee otherwise provided by law or imposed as a condition of development. A systems development charge is to be considered in the nature of a charge for services rendered or facilities

made available, or a charge for future services to be rendered or facilities to be made available in the future.

### **13.12.220 SYSTEMS DEVELOPMENT CHARGE ESTABLISHED**

1. Unless otherwise exempted by the provisions of this chapter or other local or state law, a systems development charge is hereby imposed upon all development within the city, and all development outside the boundary of the city that connects to or otherwise uses the sanitary sewer system, storm drainage system, or water system of the city. The city administrator is authorized to make interpretations of this section, subject to appeal to the city council.
2. System development charges for each type of capital improvement may be created through application of the methodologies described in section 13.12.225 of this code. The amounts of each system development charge shall be adopted initially by council resolution. Changes in the amounts shall be adopted by resolution following a public hearing.

### **13.12.225 METHODOLOGY**

1. The methodology used to establish a reimbursement fee shall consider the cost of then-existing facilities, prior constructions by then-existing users, the value of unused capacity, rate-making principles employed to finance publicly-owned capital improvements, and other relevant factors. The methodology shall promote the objective that future systems users shall contribute an equitable share of the cost of then-existing facilities.
2. The methodology used to establish the public improvement charge shall consider the cost of projected capital improvements needed to increase the capacity of the systems to which the fee is related and shall provide for a credit against the public improvement charge for the construction of any qualified public improvement.
3. The methodology shall also provide for a credit as authorized in subsection 13.12.250.
4. Except when authorized in the methodology adopted under subsection 13.12.225.1, the fees required by this code which are assessed or collected as part of a local improvement district or a charge in lieu of a local improvement district assessment, or the cost of complying with requirements or conditions imposed by a land use decision are separate from and in addition to the systems development charge and shall not be used as a credit against such charge.
5. The methodologies used to establish the systems development charge shall be adopted by resolution of the city council. The specific systems development charge may be adopted and amended concurrent with the establishment or revision of the systems development charge methodology. The city administrator shall review the methodologies established under this section every three (3) years and shall recommend amendments, if and as needed, to the city council for its action.
6. The formulas and calculations used to compute specific system development charges are based upon averages and typical conditions. Whenever the impact of individual developments present special or unique situations such that the calculated fee is grossly disproportionate to the actual impact of the development, alternative fee calculations may be approved or required by the city administrator under administrative procedures prescribed by the city council. All data submitted to support alternate calculations under this provision shall be site specific. Major or unique developments may require special analyses to determine alternatives to the standard methodology.
7. When an appeal is filed challenging the methodology adopted by the city council, the city administrator shall prepare a written report and recommendation within twenty (20) working days of receipt for presentation to the council at its next regular meeting. The council shall, by resolution, approve, modify, or reject the report and recommendation of the city administrator, or it may adopt a revised methodology by resolution, if required. Any legal

action contesting the city council's decision in the appeal shall be filed within sixth (60) days of the council's decision.

#### **13.12.230 COMPLIANCE WITH STATE LAW**

1. The revenues received from the systems development charges shall be budgeted and expended as provided by state law. Such revenues and expenditures shall be accounted for as required by state law. Their reporting shall be included in the city's annual financial report required by ORS Chapter 294.
2. The capital improvement plan required by state law as the basis for expending the public improvement charge component of systems development charge revenues shall be the Stayton Master Utilities Plan and amendments enacted by the Stayton City Council.

#### **13.12.235 COLLECTION OF CHARGE**

1. The systems development charge is payable upon, and as a condition of, issuance of:
  - a. A building or plumbing permit for a development; or
  - b. A permit for a development not requiring the issuance of a building permit; or
  - c. A permit or other authorization to connect to the water or sanitary sewer systems.
2. If development is commenced or connection is made to the water system or the sanitary sewer system without an appropriate permit, the systems development charge is immediately payable upon the earliest date that a permit was required, and it will be unlawful for anyone to continue with the construction or use constituting a development until the charge has been paid or payment secured to the satisfaction of the city administrator.
3. Any and all persons causing a development or making application for the needed permit, or otherwise responsible for the development, are jointly and severally obligated to pay the charge, and the city administrator may collect the said charge from any of them. The city administrator or his/her designee shall not issue any permit or allow connections described in subsection 13.12.235.1 until the charge has been paid in full or until an adequate secured arrangement for its payment has been made, within the limits prescribed by resolution of the city council.
4. A systems development charge shall be paid in cash when due, or in lieu thereof the city administrator may accept the delivery of a written agreement to pay if the written agreement is secured by collateral satisfactory to the city administrator or his/her designee. The collateral may consist of mortgage or trust deeds of real property, or an agreement secured by surety bond issued by a corporation licensed by a state law to give such undertakings, or by cash deposit, letter of credit, or other like security acceptable to the city administrator.
5. A person may apply to pay the systems development charge in installments to the extent provided by state law.

#### **13.12.240 EXEMPTIONS**

The following developments are exempt from all of the systems development charges imposed in section 13.12.220:

1. Any development for which a water or sewer systems development charge was paid prior to the date of the adoption of this ordinance. (Ord. 843, October 2002)

#### **13.12.245 CREDITS**

1. When development occurs that gives rise to a systems development charge under section 13.12.220 of this chapter, the systems development charge for the existing use shall be calculated and if it is less than the system development charge for the proposed use, the difference between the system development charge for the existing use and the system

development charge for the proposed use shall be the system development charge required under section 13.12.220. If the change in use results in the systems development charge for the proposed use being less than the system development charge for the existing use, no systems development charge shall be required; however, no refund or credit shall be given.

2. The limitations on the use of credits contained in this subsection shall not apply when credits are otherwise given under Section 13.12.250. A credit shall be given for the cost of a qualified public improvement associated with a development. If a qualified public improvement is located partially on and partially off the parcel of land that is the subject of the approval, the credit shall be given only for the cost of the portion of the improvement not attributable wholly to the development. The credit provided for by this subsection shall be only for the public improvement charge charged for the type of improvement being constructed and shall not exceed the public improvement charge even if the cost of the capital improvement exceeds the applicable public improvement charge.
3. Applying the methodology adopted by resolution, the city administrator shall grant a credit against the public improvement charge, the reimbursement fee, or both, for a capital improvement constructed as part of the development that reduces the development's demand upon existing capital improvements or the need for future capital improvements or that would otherwise have to be provided at city expense under then-existing council policies.
4. In situations where the amount of credit exceeds the amount of the system development charge, the excess credit is not transferable to another development.
5. Credit shall not be transferable from one type of capital improvement to another.

#### **13.12.250 APPEAL PROCEDURES**

1. As used in this section, "working day" means a day when the general offices of the city are open to transact business with the public.
2. A person aggrieved by a decision required or permitted to be made by the city administrator or his/her designee under section 13.12.205 through 13.12.245 or a person challenging the propriety of an expenditure of systems development charge revenues may appeal the decision or expenditure by filing a written request with the city administrator for consideration by the city council. Such appeal shall describe with particularity the decision or the expenditure from which the person appeals and shall comply with subsection 4. of this section.
3. An appeal of an expenditure must be filed within two (2) years of the date of alleged improper expenditure. Appeals of any other decision must be filed within ten (10) working days of the date of the decision.
4. The appeal shall state:
  - a. The name and address of the appellant;
  - b. The nature of the determination being appealed;
  - c. The reason the determination is incorrect; and
  - d. What the correct determination should be.

An appellant who fails to file such a statement within the time permitted waives his/her objections and his/her appeal shall be dismissed.

5. Unless the appellant and the city agree to a longer period, an appeal shall be heard within thirty (30) days of the receipt of the written appeal. At least ten (10) working days prior to the hearing, the city shall mail notice of the time and location thereof to the appellant.
6. The city council shall hear and determine the appeal on the basis of the appellant's written statement and any additional evidence he/she deems appropriate. At the hearing, the

appellant may present testimony and oral argument personally or by counsel. The city may present written or oral testimony at this same hearing. The rules of evidence as used by courts of law do not apply.

7. The appellant shall carry the burden of proving that the determination being appealed is incorrect and what the correct determination should be.
8. The city council shall render its decision within fifteen (15) days after the hearing date and the decision of the council shall be final. The decision shall be in writing, but written findings shall not be made or required unless the council in its discretion elects to make findings for precedential purposes. Any legal action contesting the council's decision on the appeal shall be filed within sixty (60) days of the council's decision.

**13.12.255 PROHIBITED CONNECTION**

After the effective date of this chapter, no person may connect any premises for service, or cause the same to be connected, to any sanitary sewer or water system of the city unless the appropriate systems development charge has been paid or payment has been secured as provided in this chapter.

**13.12.260 ENFORCEMENT**

Any service connected to the city water or sewer system after the effective date of this chapter for which the fee due hereunder has not been paid as required or an adequate secured arrangement for its payment has been made is subject to termination of service under the city's utility disconnect policy. (Ord. 691, 1991)

City of Stayton

PARK SYSTEM DEVELOPMENT CHARGE UPDATE

April 21, 2014 Draft for City Council Review

DRAFT

Prepared by the City of Stayton  
Public Works Department and Planning & Development Department

CITY OF STAYTON

PARK SYSTEM DEVELOPMENT CHARGE UPDATE

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## SUMMARY

The City of Stayton adopted the *Stayton Parks and Recreation Master Plan* in March, 2005. Following adoption of the master plan the City retained Keller & Associates, Inc., a consulting engineering firm, to estimate the costs for design and construction of the recommended park improvements in the Master Plan and determine whether the proposed improvements were needed to serve existing residents or were needed to serve future growth in the community. Upon completion of the cost estimates, the city's financial consultant Ray Bartlett, Economic and Financial Analysis, Inc., prepared a Park SDC report and recommended a Park SDC fee. In April 2007 the City Council adopted a revised Park SDC fee of \$2,305 for each new residential dwelling unit.

The 2007 Park SDC was established as a parks improvement fee. No reimbursement fee was established to recoup the cost of investments made in the city's park facilities prior to 2007. The Park SDC is charged to all new residential developments. The Park SDC is not charged to commercial, industrial or other non-residential developments. The fee is collected from the developer at the time a building permit is issued for each new housing unit.

In 2012, the City's Comprehensive Plan Update Committee recommended to the City Council that all of the City's SDCs be reviewed to assure that they properly account for planned improvements and reflect recent investments in city infrastructure. In 2014, the City of Stayton Public Works and Planning Departments prepared this 2014 Park SDC update. Since the adoption of the 2007 Park SDC, the City has made investments in the City's parks, as proposed in the 2005 Master Plan. These investments have resulted in the addition of a reimbursement fee component of the Park SDC. In addition, the City has refined plans for improvements to Santiam Park, Pioneer Park and the Riverfront Park. When coupled with the 2005 Master Plan, the development of these refinement plans warrant a review and update of the improvement fee portion of the Park SDC.

The proposed 2014 Park SDC will be composed of both a reimbursement fee and an improvement fee. Table 1 compares the current Park SDC with the proposed Park SDC.

**Table 1  
Current and Proposed Park SDC**

Type of SDC	2007 Park SDC	Maximum Park SDC Allowed	Proposed Park SDC	Change	
				\$	%
Parks Improvement Fee	2,305	2,457	2,457	152	
Parks Reimbursement Fee	-	166	166	166	
<b>Total</b>	<b>2,305</b>	<b>2,623</b>	<b>2,623</b>	<b>318</b>	<b>14%</b>

## METHODOLOGY - PARK SDC

Similar to Stayton’s other SDC methodologies, the Park SDC update is designed to meet the requirements of the State of Oregon statutes, ORS 223.297 to 223.314. SDCs are established to ensure that new growth in the community pays its fair share for the construction of new and improved public facilities. The Park SDC is comprised of two elements:

1. **Reimbursement fee.** The reimbursement fee share of the Park SDC is based on an analysis of the actual costs incurred by the City for acquiring park land or making park improvements. The City evaluates whether or not a project benefits existing residents or new residential developments or both. Based on the analysis the City allocates the actual costs to both existing residents and future users. The reimbursement fee is based only on the share of project costs that can be allocated to future residential development.
2. **Improvement fee.** The improvement fee share of the Park SDC is established based on an analysis of the estimated cost of proposed parks and recreational facility improvements. Projects must be included in the Parks and Recreation Master Plan or in specific park facility plan updates. Only the portion of the project costs that directly benefit new residential growth may be included in the parks improvement fee analysis. Project costs may include master planning, land acquisition, design, engineering, construction and the cost of financing the improvements that will benefit new development.

### Population Projections:

The *Stayton Parks and Recreation Master Plan* was developed in 2005 when the City of Stayton and the surrounding areas of Marion County were growing quickly. The adopted parks plan assumed the City’s population would grow at an average annual population growth rate of 3.6%. The plan projected the 2020 population would be 13,827. Due to the great recession beginning in 2007, growth in Stayton slowed dramatically. The population projections in the plan were too high and needed to be adjusted.

**Table 2  
Stayton Population Projections**

Year	Actual Population	Estimated Population @ 1.7% Avg Annual Growth	Data Source
1990	5,011		U. S. Census
2000	6,816		U. S. Census
2010	7,644		U. S. Census
2013	7,685		PSU Center for Population Research Annual Population Estimate
2020		9,597	Marion County Coordinated Population Projection
2030		11,359	
2034	20-year planning period	12,151	
2040		13,445	
2047	UGB Buildout	15,129	

In 2009, Marion County adopted a coordinated population projection for all cities in Marion County and for the unincorporated areas of Marion County. Stayton’s growth rate was revised downward to a 1.7% average annual growth rate. The 2013 Stayton Comprehensive Plan was adopted with the revised 1.7% per year growth rate. Using this growth rate, the City projects Stayton’s population will reach 12,151 in 20 years (2034) and a population of 15,129 when the Urban Growth area is fully built out. The adjusted population projections were used to calculate the Park SDC fees.

### Reimbursement Fee

Since the adoption of the 2005 Parks Master Plan and the 2007 Park SDC, the City has made investments in park development and improvements. The 2007 Park SDC was established as an improvement fee. Based on investments in the City’s parks system from 2001 to 2014, it is appropriate to add a reimbursement fee as part of the Park SDC fee. The projects that have been completed and are included in the reimbursement fee have been removed from the list of proposed projects used to calculate the improvement fee.

**Table 3  
Cost Basis for Park Reimbursement SDC Fee**

	Eligible Project Costs for SDC Reimbursement Fee (2001 to 2013)	Total Project Costs	Grants and Donations	SDC Funds Expended
1	Stayton Parks & Recreation Master Plan	37,222		37,222
2	Park SDC Analysis & Preparation	46,391		46,391
3	Pioneer Park Master Plan Update	6,472		6,472
4	Santiam Park Improvements	698,749	180,780	517,969
5	Community Park & Open Space Planning & Land Acquisition	31,121		31,121
6	Riverfront Park & Pedestrian Bridge	205,274	109,930	95,344
	<b>Total Park Planning &amp; Improvement Costs</b>	<b>1,025,129</b>	<b>290,710</b>	<b>734,419</b>

SDC eligible projects are listed in the Parks Master Plan. The reimbursement fee is based on the actual costs incurred by the City for eligible project costs minus federal and state grants and donations. Table 3 summarizes the actual costs incurred for the period 2001 to 2013 and lists the actual expenditure of SDC funds for eligible project costs. The park improvements included in Table 3 have a capacity to serve a finite population over the 20-year planning period from 2014 to 2034.

The completed projects serve both existing residents and future growth. Currently, the 2013 population of 7,685 is 63.24% of the estimated 2034 population of 12,151. The Park reimbursement SDC analysis concludes 63.24% of the costs for the projects listed in Table 3 serve

existing residents. Therefore, 36.76% of the costs of these projects will benefit future residents. Table 4 shows that \$269,948 (36.76%) of the SDC costs incurred to date will benefit future residents and should be used to calculate the Park Reimbursement SDC.

**Table 4  
Park Reimbursement SDC Fee**

Park Reimbursement Fee Calculations		
1	Actual SDC Eligible Share of Park Improvements and Stayton Parks and Recreation Master Planning (2001-2014)	\$ 734,419
2	Future Growth Share of Population (2013 to 2034)	36.76%
3	Share of SDC Eligible Share assigned to future growth (1 x 2)	\$269,948
4	Future Population Growth for 20-year planning period (2013 to 2034)	4,466
5	Park Reimbursement Fee per capita (3 ÷ 4)	60.44
6	# of persons per household	2.74
<b>Park Reimbursement Fee per household (5 x 6)</b>		<b>\$166</b>

Based on the actual cost of preparing the park plans and park improvements, a per capita cost basis is calculated in Table 4. Using an average household size of 2.74, the per capita cost basis is converted to a proposed Park Reimbursement SDC fee of \$166 per household.

### **Improvement Fee**

The City's Parks and Recreation Master Plan anticipated Stayton's population would grow to 13,827 by the year 2020. As noted above, the City's population projections have been adjusted to reach 12,151 people by 2034 (20 year planning period) and 15,129 by 2047 (UGB build out). The Master Plan recommends park improvements through the entire UGB area. With a reduced population base, the City recognizes that not all of the park improvements called for in the Master Plan will be developed within a 20-year time frame. The Park Improvement SDC is based on those projects the City believes are needed during the 20-year planning period.

In order to determine the Park Improvement SDC fee, the City reviewed the Master Plan, including project park land and open space needs as well as the recommended list of park improvements.

### **Park Land Needs Projections:**

The Stayton Parks and Recreation Master Plan recommends the City increase the amount of parks and open space acreage owned by the City of Stayton and other public entities. New neighborhood and community parks are proposed for the north and east ends of the UGB where new residential growth is anticipated. In addition, the plan includes an ambitious goal to acquire linear parks, open space and develop recreational trails along or near to Hwy 22 and the waterways that run through the community.

This will require the acquisition of land either when new development occurs, through cooperative agreements with other public entities or when individual parcels become available for purchase.

The plan recommends an increase in the number of park acres per 1,000 people from 22.65 acres per 1,000 residents in year 2013 to 28.62 acres per 1,000 residents in the year 2034. The Master Plan states that the number of acres mini-parks needed per 1,000 residents will decrease slightly by the year 2034. However, there will be an increased need per 1,000 persons for community parks, neighborhood parks and linear parks/open space areas.

Table 5 summarizes the existing amount of park land and open space currently owned or leased by the City of Stayton for park and recreation use. The table shows that in 2014 the City does not meet the recommended standard of 28.62 acres of park land per 1,000 persons living in the City.

**Table 5  
Existing Park Acres and  
Recommended Park Standards**

Type of Park	City of Stayton Existing Parks		Recommended Standard Acres per 1,000 persons
	Existing Parks Acres	Current Acres per 1,000 persons	
Mini-Parks	2.79	0.36	0.29
Neighborhood	4.29	0.56	1.74
Community	17.11	2.23	3.45
Linear Parks & Open Spaces	149.85	19.50	23.14
<b>Totals</b>	<b>174.03</b>	<b>22.65</b>	<b>28.62</b>

Table 6 shows that in 2014 the City of Stayton needs to acquire 45.91 acres of new parks and open space areas to meet the recommended standard. Overall, the Master Plan recommends the City double the amount of land used for public parks, open space and greenways by the year 2034. It recommends the City acquire 173.74 acres of park land over the next 20 years.

**Table 6  
2013 Existing Park Acres and  
Recommended Park Acres in 2034**

Type of Park	2013 Existing Parks				2034 Park Land Projections		
	2013 Population	Existing Park Acres	Recommended Acres	Surplus / (Deficit)	2034 Population	Recommended Acres	Surplus / (Deficit)
Mini-Parks	7,685	2.79	2.23	.56	12,151	3.52	(.73)
Neighborhood	7,685	4.29	13.37	(9.08)	12,151	21.14	(16.85)
Community	7,685	17.11	26.51	(9.40)	12,151	41.92	(24.81)
Linear Parks & Open Spaces	7,685	149.85	177.83	(27.98)	12,151	281.18	(131.34)
<b>Totals</b>		<b>174.03</b>	<b>219.94</b>	<b>(45.91)</b>		<b>347.77</b>	<b>(173.74)</b>

**Table 7  
Park Acres Needed**

Type of Park	Parks Master Plan Recommendations	
	Acres Needed to Meet Current Demand (2013)	Acres Proposed to Serve New Growth (2013-2034)
Mini-Parks	0.00	2.50
Neighborhood	9.00	3.00
Community	9.00	34.50
Linear Parks & Open Spaces	29.00	73.00
<b>Totals</b>	<b>47.00</b>	<b>113.00</b>

Table 7 shows the Parks Master Plan recommends the City acquire 47 acres for neighborhood, community and linear/open space park areas just to serve the 7,685 residents who lived in Stayton in 2013. The cost of acquiring these additional park lands are not eligible for use of SDC funds.

In order to determine a Park Improvement SDC, the City must allocate how many acres of park land the City needs to acquire to future residential growth. Parks Improvement SDC funds can be used to purchase park land needed to serve future growth in Stayton. The Master Plan recommends the City acquire 113 acres of new park land and open space to serve growth during the next 20 years.

**Recommended Capital Improvements:**

In addition to the land acquisition recommendations, the City has identified a list of recommended park rehabilitation projects and capital improvements for each park. This list includes the recommendations listed in the Stayton Parks and Recreation Master Plan and refinement plans prepared by the city staff and consultants since 2005. The refinement plans include Santiam Park Phase 2 (2009), Pioneer Park Master Plan update (2011) and the Riverfront Park Management Plan (2011).

Table 8 lists the total cost all recommended land acquisition and park capital improvements by park name and park type. The recommended improvements for each park were reviewed to determine if the individual project was needed to rehabilitate the park and serve existing residents or if the proposed improvement would benefit both existing residents and future residents. The amount of the project allocated to growth is shown in the far right column of Table 8.

**Table 8**  
**Total Cost**  
**Proposed Park Land Acquisition and Improvements**

#	Park Name	Park Type	Proposed Cost of Park Improvements		SDC Eligible
			Total Cost	Allocation to Growth	%
1	Golf Lane Park (P) <sup>1</sup>	Community	2,568,420	1,091,299	49.2%
2	Community Center Park	Community	743,608	321,377	43.2%
3	Community Center Complex	Community	500,000	246,012	49.2%
4	Mehama Road Park (P)	Community	4,443,339	2,186,233	49.2%
5	Skateboard Area (P)	Community	449,286	221,060	49.2%
6	Pioneer Park	Community	2,842,686	544,852	19.2%
7	Westown Park	Mini	56,154	-	0%
8	Fir Street Park (P)	Mini	505,447	-	0%
9	Northslope Park	Mini	45,228	-	0%
10	Northslope Park (P)	Mini	157,599	77,543	49.2%
11	Stayton Ditch Greenway (P)	Linear	841,663	-	0%
12	Salem Ditch Greenway (P)	Linear	1,228,039	-	0%
13	Lucas Ditch Greenway (P)	Linear	283,050	139,268	49.2%
14	Santiam Highway ROW (P)	Linear	1,641,393	807,606	49.2%
15	Quail Run Park	Neighborhood	72,635	23,948	33.3%
16	Ida Street Park (P)	Neighborhood	977,947	-	0%
17	Pine Street Park (P)	Neighborhood	494,215	196,007	39.7%
18	Mill Creek Greenway (P)	Open Space	419,334	206,323	49.2%
19	Wilderness Park	Open Space	212,500	104,555	49.2%
20	N. Santiam Greenway (P)	Open Space	937,500	461,273	49.2%
21	Riverfront Park	Open Space	372,405	183,232	49.2%
<b>Total</b>			<b>19,792,449</b>	<b>6,810,588</b>	<b>34.4%</b>

The \$6.81 million amount assigned to growth assumes full development of the urban growth boundary (UGB) area. Realistically, only a portion of the UGB will be developed in the 20-year planning period. Therefore, the City allocates costs for projects that can realistically be developed during the 20-year planning period from 2014 to 2034. Table 9 shows this allocation.

<sup>1</sup> (P) – Proposed Park

**Table 9**  
**Summary of Proposed Park Land Acquisition and Improvements**  
**SDC Eligible Projects During and After 20-Year Planning Period**

#	Park Name	Park Type	Land Acquisition (acres)	SDC Share of Improvements To be Completed		Total Cost 2013\$
				by 2034	2035 to 2047	
1	Golf Lane Park (P) <sup>2</sup>	Community	20.00	654,818	436,482	1,091,299
2	Community Center Park	Community	1.00	192,837	128,540	321,377
3	Community Center Complex	Community	0.00	246,012	-	246,012
4	Mehama Road Park (P)	Community	20.00	1,311,815	874,417	2,186,233
5	Skateboard Area (P)	Community	1.50	221,060	-	221,060
6	Pioneer Park	Community	0.00	326,930	217,922	544,852
7	Westown Park	Mini	0.00	-	-	-
8	Fir Street Park (P)	Mini	1.50	-	-	-
9	Northslope Park	Mini	0.00	-	-	-
10	Northslope Park (P)	Mini	1.00	77,543	-	77,543
11	Stayton Ditch Greenway (P)	Linear	14.00	-	-	-
12	Salem Ditch Greenway (P)	Linear	15.00	-	-	-
13	Lucas Ditch Greenway (P)	Linear	4.00	139,268	-	139,268
14	Santiam Highway ROW (P)	Linear	13.00	-	807,606	807,606
15	Quail Run Park	Neighborhood	0.00	23,948	-	23,948
16	Ida Street Park (P)	Neighborhood	7.00	-	-	-
17	Pine Street Park (P)	Neighborhood	5.00	196,007	-	196,007
18	Mill Creek Greenway (P)	Open Space	16.00	123,801	82,522	206,323
19	Wilderness Park	Open Space	0.00	104,555	-	104,555
20	N. Santiam Greenway (P)	Open Space	40.00	276,780	184,493	461,273
21	Riverfront Park	Open Space	0.00	109,946	73,287	183,232
<b>Total</b>			<b>160.00</b>	<b>4,005,320</b>	<b>2,805,268</b>	<b>6,810,588</b>

**Revenue Sources for Proposed Improvements:**

The City has historically used multiple revenue sources to pay for park land acquisition and to finance park improvements. The City has received grants, bequests of land, private foundation grants, donor gifts, federal grants and state grants for its park acquisition and development

<sup>2</sup> (P) – Proposed Park

projects. In addition, the City has pledged portions of the 2004, 2008 and 2012 local option tax levies to support specific capital projects in the City’s parks, swimming pool and public library.

The City has invested \$1.025 million on park improvement projects listed in the Parks and Recreation Master Plan and SDC resolutions since 2001. For these projects the City received \$198,430 in state and foundation grants and \$92,280 in tracked donations from citizens and individual donors. Using these numbers, grants and donations have contributed just under 30% of the park improvement costs.

The above donation amount reflects only a portion of the actual value of all donations and in-kind contributions received by the City. A portion of Santiam Park was donated by the developer of the Sylvan Springs/Santiam Station development. In-kind contributions by City staff and community members have also been used to complete small park improvement projects. During the past five years Boy Scout Troop 50 and the annual group of I-Serve volunteers have contributed many untracked hours and donated improvements to Pioneer, Community Center and Riverfront Park.

The Parks Improvement Fee methodology assumes the historic trend of obtaining grants, in-kind contributions and community donations will continue. Table 10 provides a general projection of funding sources for the estimated \$19.7 million of identified park improvements.

**Table 10  
Potential Revenue Sources for Park Improvements**

	Revenue Source	Amount	% Share
1	Grants: Federal, State and Private Foundation	7,000,000	38%
2	Donations & In-Kind Contributions	1,750,000	9%
3	Local Option Levy and GO Bonds	2,000,000	6%
4	Other Sources including Land Donations	1,000,000	6%
5	Park Improvement SDC Fees	8,000,000	40%
<b>Totals – All Revenue Sources</b>		<b>19,750,000</b>	<b>100%</b>

**Park Improvement SDC Calculations:**

Since these parks will meet a future need based on higher park standards than currently exist, the improvement fee is equal to the sum of the estimated costs of the projects divided by total future population. The result is a per capita park improvement fee of \$897. The improvement fee is based on a projected average household size of 2.74 persons per housing unit which results in an improvement fee of \$2,457.

**Table 11  
Park Improvement SDC Fee**

Park Improvement Fee Calculations		
1	Parks Improvement Costs Allocated to Growth (2013 to 2034)	\$ 4,005,320
2	Future Population Growth for 20-year planning period (2013 to 2034)	4,466
3	Park Improvement Fee per capita (1 ÷ 2)	897
4	# of persons per household	2.74
<b>Park Improvement Fee per household (3 x 4)</b>		<b>\$2,457</b>

### **PARK SYSTEM DEVELOPMENT CHARGE**

The Park SDC is the sum of the reimbursement fee and the improvement fee. Based on the park SDC methodology included in this report, Stayton's Park SDC may increase from the current \$2,305 to a maximum of \$2,623 per dwelling unit. The City Council may adopt an SDC fee that is lower than the maximum permitted by the SDC analysis.

**Table 12  
Current and Proposed Park SDC Fees**

Type of SDC	2007	Maximum	Proposed	Change	
	Park SDC	Park SDC Allowed	Park SDC	\$	%
Parks Improvement Fee	2,305	2,457	2,457	152	
Parks Reimbursement Fee	-	166	166	166	
<b>Total Park SDC</b>	<b>2,305</b>	<b>2,623</b>	<b>2,623</b>	<b>382</b>	<b>14%</b>

Similar to its other SDCs, Stayton may adjust the Park SDC annually for inflation using the construction cost index published by McGraw Hill in the ENR magazine. A more detailed description of how the index will be applied is described in the City's Water SDC update.

**Appendix 1**  
**City of Stayton Parks Improvements**  
**Detailed List of Recommended Capital Improvements**

Community Parks		Land Acquisition (acres)	2012 \$ Estimated Cost	SDC Elig?	SDC Eligible	% to Growth
#	Description					
<b>A Golf Lane Park (Proposed)</b>						
1	Land Acquisition (to serve existing residents)	9.00	280,355	No	-	
1	Land Acquisition (to serve new growth)	11.00	342,656	Y	342,656	
2	Baseball fields		215,657	Y	215,657	
3	Soccer fields		287,543	Y	287,543	
4	Open multi-use grass area		95,848	Y	95,848	
5	Children's Playground (tot & youth)		11,981	Y	11,981	
6	Restrooms		419,334	Y	419,334	
7	Picnic Areas w/ shelters (various sizes, 2		59,905	Y	59,905	
8	Group picnic areas		29,952	Y	29,952	
9	Trails/pathway systems		179,715	Y	179,715	
10	Outdoor basketball courts		71,886	Y	71,886	
11	Site amenities (picnic tables, benches, bike racks, drinking fountains, trash recepta		59,905	Y	59,905	
Subtotal			2,054,736		1,774,382	
A&E plus contingencies @ 25%			513,684		443,595	
Total Estimated Cost			2,568,420		2,217,977	
					SDC Share	1,091,299 49.2%
<b>B Community Center Park (Existing)</b>						
1	Land Acquisition (based on 2012 MC TMV Assessor Values)		-		-	
	320 W. Virginia	0.59	208,440	Y	208,440	
	282 W. Virginia	0.23	103,840	Y	103,840	
	246 W. Virginia	0.18	133,900	Y	133,900	
2	Modify slope around concrete tunnel & play area	1.00	23,962	No	-	
3	Provide ornamental lighting on footpaths		10,783	Y	10,783	
4	Resurface tennis courts		-	No	-	
5	Improve drainage at southeast corner of the open play area		2,396	No	-	
6	Modify & widen pathway throughout the park		40,000	No	-	
7	Install swings in play area		5,990	No	-	
8	Provide pre-school age equipment in play area		-	No	-	
9	Develop new "plaza" between library & community center		15,575	Y	15,575	
10	Site amenities (picnic tables, benches, bike racks, drinking fountains, trash recepta		50,000	Y	50,000	
Subtotal			594,887		522,538	
A&E plus contingencies @ 25%			148,722		130,635	
Total Estimated Cost			743,608		653,173	
					SDC Share	321,377 49.2%
<b>C Community Center Complex (Existing)</b>						
1	Land Acquisition	0.00	-	Y	-	
2	Community Center Refurbishing		300,000	Y	300,000	
3	Install commercial kitchen in community center		100,000	Y	100,000	
Subtotal			400,000		400,000	
A&E plus contingencies @ 25%			100,000		100,000	
Total Estimated Cost			500,000		500,000	
					SDC Share	246,012 49.2%
<b>D Mehama Rd. Park (Proposed)</b>						
1	Land Acquisition	20.00	1,150,173	Y	1,150,173	
2	Baseball fields		215,657	Y	215,657	
3	Soccer fields		287,543	Y	287,543	
4	Open multi-use grass area		95,848	Y	95,848	
5	Children's Playground (tot & youth)		11,981	Y	11,981	
6	Restrooms		200,000	Y	200,000	
7	Picnic Areas w/ shelters		-	Y	-	
8	Group picnic areas		179,715	Y	179,715	
9	Trails/pathway systems		179,715	Y	179,715	
10	Outdoor basketball courts		71,886	Y	71,886	
11	Site amenities (picnic tables, benches, bike racks, drinking fountains, trash recepta		59,905	Y	59,905	
12	General park development		1,102,249	Y	1,102,249	
Subtotal			3,554,672		3,554,672	
A&E plus contingencies @ 25%			888,668		888,668	
Total Estimated Cost			4,443,339		4,443,339	
					SDC Share	2,186,233 49.2%

**Appendix 2**  
**City of Stayton Parks Improvements**  
**Detailed List of Recommended Capital Improvements**

Mini Parks		Land Acquisition (acres)	2012 \$ Inflation Estimated Cost	SDC Elig?	SDC Eligible	% to Growth
<b>A Westtown Park (Existing)</b>	Note: Westtown Park is an existing neighborhood park. All recommended improvements are deemed to be minor upgrade and rehabilitation of an existing park facility. These are not eligible for SDC funding.					
1	Land Acquisition	0.00	-	No	-	
2	Plant trees at entrance to create a symmetrical entrance		5,990	No	-	
3	Install additional children's play equipment		-	No	-	
4	Provide park benches		-	No	-	
5	Provide bicycle rack		1,797	No	-	
6	Provide a shaded seating area adjacent to the children's play area		21,566	No	-	
7	Plant trees near basketball court		Delete	No	-	
8	Develop hard wall @ BBX court for tennis practice		Delete	No	-	
9	Pedestrian Lighting		15,000	No	-	
10	ADA Table		570	No	-	
	Subtotal		44,923		-	
	A&E plus contingencies @ 25%		11,231		-	
	<b>Total Estimated Cost</b>		<b>56,154</b>		-	
			<b>SDC Share</b>		-	<b>49.2%</b>
<b>B Fir Street Park (Proposed)</b>	Note: This is a proposed neighborhood park between 1st & 5th Avenue north of Washington St. There are nearby accessible school playgrounds and open space areas, including Regis/Little League ballfields and the Stayton Elementary School playground. Staff recommends this proposed park acquisition be deleted from the Parks Master Plan, since is not likely the City will acquire land in this neighborhood. Therefore, these costs have been deleted from the SDC calculation.					
1	Land Acquisition	1.50	404,358	No	-	
	Subtotal		404,358		-	
	A&E plus contingencies @ 25%		101,089		-	
	<b>Total Estimated Cost</b>		<b>505,447</b>		-	
			<b>SDC Share</b>		-	<b>49.2%</b>
<b>C Northslope Park (Existing)</b>	Note: Northslope Park is an existing neighborhood park. The recommended improvements to the existing park are a rehabilitation of an existing park facility. Therefore, these are not eligible for SDC funding.					
1	Land Acquisition	0.00	-	No	-	
2	Expand and/or replace children's play equipment		-	No	-	
3	Improve plantings on south border		4,792	No	-	
4	Plant wildflower area on east border		240	No	-	
5	Design and install fencing between park and residential properties		11,981	No	-	
6	Add more trees and grass		5,990	No	-	
7	Re-grade field to create a more nearly level play field for children		Delete	No	-	
8	Provide two additional picnic tables and/or benches		2,396	No	-	
9	Provide nighttime lighting to include the western half of the park		10,783	No	-	
	Subtotal		36,183		-	
	A&E plus contingencies @ 25%		9,046		-	
	<b>Total Estimated Cost</b>		<b>45,228</b>		-	
			<b>SDC Share</b>		-	<b>49.2%</b>
<b>D Northslope Park (Proposed)</b>	Note: Northslope Park is an existing neighborhood park. The listed improvements are recommended for installation in an expanded Northslope Park. These additional improvements are SDC eligible.					
1	Acquire additional land for driveway and parking lot	1.00	20,368	Y	20,367.6	
2	Provide new access to park site		10,783	Y	10,782.9	
3	Develop on-street parking along new street frontage		7,189	Y	7,188.6	
4	Construct Driveway (ft)		Delete	Y	Delete	
5	Add playground equipment in expanded park		50,000	Y	50,000.0	
6	Develop interior pathways through the site		11,981	Y	11,981.0	
7	Design and install fencing between park and residential properties		11,981	Y	11,981.0	
8	Develop paths for playground access		1,797	Y	1,797.1	
9	Install a concrete animal play structure for the grassy areas		11,981	Y	11,981.0	
10			-	Y	-	
11			-	Y	-	
			126,079		126,079.2	
	A&E plus contingencies @ 25%		31,520		31,519.8	
	<b>Total Estimated Cost</b>		<b>157,599</b>		<b>157,598.9</b>	
			<b>SDC Share</b>		<b>77,543</b>	<b>49.2%</b>
	<b>Total - Mini-Parks</b>	<b>2.50</b>	<b>\$ 764,428</b>		<b>\$ 157,599</b>	
			<b>SDC Share</b>		<b>\$ 77,543</b>	
	Land acquisition proposed to serve existing residents	0.00				
	Land acquisition proposed to serve new growth	2.50				

### Appendix 3

#### City of Stayton Parks Improvements

#### Detailed List of Recommended Capital Improvements

##### Linear Parks

#	Description	Land Acquisition (acres)	2012 \$ Inflation Estimated Cost	SDC Elig?	SDC Eligible	% to Growth
<b>A Stayton Ditch Park (includes Main Canal to Jetters Way)</b>						
1	Land Acquisition	14	436,107	No	-	
2	Develop pathway and trail systems		47,924	No	-	
3	Provide seating areas		9,585	No	-	
4	Develop trailhead facilities		179,715	No	-	
Subtotal			673,331		-	
A&E plus contingencies @ 25%			168,333		-	
			841,663		-	
				SDC Share	-	49.2%
<b>B Salem Ditch Park (RR tracks north to Mill Creek, 75' wide - 15 acres)</b>						
1	Land Acquisition	15	750,000	No	-	
2	Develop pathway and trail systems		47,924	No	-	
3	Provide seating areas		4,792	No	-	
4	Develop trailhead facilities		179,715	No	-	
Subtotal			982,431		-	
A&E plus contingencies @ 25%			245,608		-	
Total Estimated Cost			1,228,039		-	
				SDC Share	-	49.2%
<b>C Lucas Ditch Park (east of Sunrise Drive to Fern Ridge Rd., 4 acres)</b>						
1	Land Acquisition	4	-	Y	-	
2	Develop pathway and trail systems		41,933	Y	41,933	
3	Provide seating areas		4,792	Y	4,792	
4	Develop trailhead facilities		179,715	Y	179,715	
Subtotal			226,440		226,440	
A&E plus contingencies @ 25%			56,610		56,610	
Total Estimated Cost			283,050		283,050	
				SDC Share	139,268	49.2%
<b>D Santiam Highway ROW (east of Fern Ridge Rd. to Old Mehama Rd., 50' wide = 9 acre:</b>						
<b>D Golf Lane to Mill Creek Pump Station (=4 acres)</b>						
1	Land Acquisition	13	809,914	Y	809,914	
2	Plant trees at entrance to create a symmetrical entrance		431,315	Y	431,315	
3	Install additional children's play equipment		71,886	Y	71,886	
Subtotal			1,313,114		1,313,114	
A&E plus contingencies @ 25%			328,279		328,279	
Total Estimated Cost			1,641,393		1,641,393	
				SDC Share	807,606	49.2%
<b>Total - Linear Parks</b>		<b>46</b>	<b>\$ 3,994,145</b>		<b>\$ 1,924,443</b>	
					<b>SDC Share \$ 946,874</b>	<b>49.2%</b>
Land acquisition proposed to serve existing residents		29.00				
Land acquisition proposed to serve new growth		17.00				

## Appendix 4

### City of Stayton Parks Improvements Detailed List of Recommended Capital Improvements

Neighborhood Parks		Land Acquisition (acres)	2012 \$ Inflation Estimated Cost	SDC Elig?	SDC Eligible	% to Growth
<b>A Quail Run Park (Existing)</b>	Note: Quail Run Park is an existing neighborhood park. Most of the listed improvements are considered to be for maintenance/rehabilitation of the existing park serving current residents. The proposed picnic shelters will benefit the community and therefore deemed SDC eligible.					
1	Land Acquisition	0.00	-	No	-	
2	Install flower planters where neighbors will plant and care for		4,792	No	-	
3	Install volleyball courts		Delete	No	-	
4	Plant rose garden		8,387	No	-	
5	Develop plan for covered picnic areas		2,995	Y	2,995	
6	Develop horseshoe pits		-	No	-	
7	Build and install one shelter building with utilities		35,943	Y	35,943	
8	Install electrical outlets near picnic areas		5,990	No	-	
	Subtotal		58,108		38,938	
	A&E plus contingencies @ 25%		14,527		9,735	
	<b>Total Estimated Cost</b>		<b>72,635</b>		<b>48,673</b>	
				<b>SDC Share</b>	<b>23,948</b>	<b>49.2%</b>
<b>B Ida Street Park (Proposed)</b>	Note: The Master Parks Plan proposes a new neighborhood park on Ida St. This proposed park is intended to correct a deficiency by providing a neighborhood park within walking distance of existing residential areas, but will provide a small benefit to future residents/growth. The park is SDC eligible for a small percentage (20%).					
1	Land Acquisition	7.00	578,681	No	-	
2	Multi-use grass area with a backstop and portable goal		35,943	No	-	
3	Children's playground (tot lot and youth)		11,981	No	-	
4	Multi-use paved court for basketball, volleyball, etc.		71,886	No	-	
5	Picnic shelter building		29,952	No	-	
6	Paved internal pathway system		53,914	No	-	
	Subtotal		782,357		-	
	A&E plus contingencies @ 25%		195,589		-	
	<b>Total Estimated Cost</b>		<b>977,947</b>		<b>-</b>	
				<b>SDC Share</b>	<b>-</b>	<b>49.2%</b>
<b>C Neitling Property (Existing)</b>	Neitling Park was listed separately in the 2004 SDC List. The site is combined with Pioneer Park. See Community Parks-Pioneer Park					
					-	
<b>D Pine Street Park (proposed)</b>						
1	Land Acquisition (needed for current residents)	2.00	76,678	No	-	
1	Land Acquisition (needed for future residents)	3.00	115,017	Y	115,017.3	
2	Multi-use grass area with a backstop and portable goal		35,943	Y	35,942.9	
3	Children's playground (tot lot and youth)		11,981	Y	11,981.0	
4	Multi-use paved court for basketball, volleyball, etc.		71,886	Y	71,885.8	
5	Picnic shelter building		29,952	Y	29,952.4	
6	Paved internal pathway system		53,914	Y	53,914.4	
			395,372		318,693.8	
	A&E plus contingencies @ 25%		98,843		79,673.5	
	<b>Total Estimated Cost</b>		<b>494,215</b>		<b>398,367.3</b>	
				<b>SDC Share</b>	<b>196,007</b>	<b>49.2%</b>
	<b>Total - Neighborhood Parks</b>	<b>12.00</b>	<b>\$ 1,544,796</b>		<b>\$ 447,040</b>	
				<b>SDC Share</b>	<b>\$ 219,955</b>	<b>49.2%</b>
	Land acquisition proposed to serve existing residents	9.00				
	Land acquisition proposed to serve new growth	3.00				

## Appendix 5

### City of Stayton Parks Improvements

#### Detailed List of Recommended Capital Improvements

Open Space		Land Acquired	Land	2012 \$		SDC	SDC Eligible	% to
#	Description	2001 to 2013 (acres)	Acquisition (acres)	Inflation Estimated Cost		Elig?		Growth
<b>A</b>	<b>Mill Creek Greenway (Proposed)</b>							
1	Land Acquisition		16	\$ 335,467		Y	\$ 335,467	
2	Develop master plan			\$ -		Y	\$ -	
	Subtotal			\$ 335,467			\$ 335,467	
	A&E plus contingencies @ 25%			\$ 83,867			\$ 83,867	
	<b>Total Estimated Cost</b>			<b>\$ 419,334</b>			<b>\$ 419,334</b>	
							SDC Share 206,323	49.2%
<b>B</b>	<b>Wilderness Park (Existing)</b>							
1	Land Acquisition		0	\$ -		Y	\$ -	
2	Bridge to Riverfront Park			\$ 160,000		Y	\$ 160,000	
3	Trail			\$ 10,000		Y	\$ 10,000	
4	Log Benches			Installed		Y	Installed	
	Subtotal			\$ 170,000			\$ 170,000	
	A&E plus contingencies @ 25%			\$ 42,500			\$ 42,500	
	<b>Total Estimated Cost</b>			<b>\$ 212,500</b>			<b>\$ 212,500</b>	
							SDC Share 104,555	49.2%
<b>C</b>	<b>N. Santiam River Greenway (west of 1st Avenue on the north side of the river - 1st Ave to WWTF site, 200' wide -25 acres)</b>							
<b>C</b>	<b>N. Santiam River Greenway (east of 1st Avenue on the north side of the river, Wilderness Park to east end of UGB, 100' wide, 15-acres)</b>							
1	Land Acquisition		40	\$ 700,000		Y	\$ 700,000	
2	Site Amenities			\$ 50,000		Y	\$ 50,000	
	Subtotal			\$ 750,000			\$ 750,000	
	A&E plus contingencies @ 25%			\$ 187,500			\$ 187,500	
	<b>Total Estimated Cost</b>			<b>\$ 937,500</b>			<b>\$ 937,500</b>	
							SDC Share 461,273	49.2%
<b>D</b>	<b>Riverfront Park</b>							
1	Land acquisition	51	0	\$ -		Y	\$ -	
2	Management Plan			\$ 47,924		Y	\$ 47,924	
3	Site Amenities/Park Development per Mgt Plan			\$ 250,000		Y	\$ 250,000	
	Subtotal			\$ 297,924			\$ 297,924	
	A&E plus contingencies @ 25%			\$ 74,481			\$ 74,481	
	<b>Total Estimated Cost</b>			<b>\$ 372,405</b>			<b>\$ 372,405</b>	
							SDC Share 183,232	49.2%
	<b>Total - Open Space</b>	<b>51.00</b>	<b>56.00</b>	<b>\$ 1,941,739</b>			<b>\$ 1,941,739</b>	
							SDC Share \$ 955,383	49.2%
	Land acquisition proposed to serve existing residents		0.00					
	Land acquisition proposed to serve new growth		56.00					

**Appendix 6  
Current and Future Park Land Needs**

Areas	(1)	(2)	(3)	(4)	(5)	(6)	(7)	Park Master Plan Recommendations	
	Existing Parks	Current Demand	Existing	20 Year Demand	20 Year	UGB Demand	UGB Buildout	(8)	(9)
	Total Acres 2013	Total Acres 2013	Deficit 2013	Total Acres 2034	Acres to Acquire 2034	Total Acres 2047	Acres to Acquire 2047	Park Master Plan Acres to be Acquired to serve existing residents	Park Master Plan Acres to be Acquired to serve future growth
Parks and Areas									
Mini-Parks	3.29	2.23	surplus	3.52	0.23	4.39	1.10	0.00	2.50
Neighborhood Parks	4.29	13.37	9.08	21.14	16.85	26.32	22.03	9.00	3.00
Community Parks	17.11	26.51	9.40	41.92	24.81	52.19	35.08	9.00	34.50
Linear Parks	0.38	60.56	60.18	95.75	95.37	119.21	118.83	29.00	17.00
Open Space Areas	149.46	117.27	surplus	185.43	35.97	230.86	81.40	0.00	56.00
<b>Totals</b>	<b>174.53</b>	<b>219.94</b>	<b>45.41</b>	<b>347.78</b>	<b>173.25</b>	<b>432.98</b>	<b>258.45</b>	<b>47.00</b>	<b>113.00</b>

Net acres needed

Net acres needed

Systems Development Charges  
Comparison of SDC Charges for Oregon Cities

	City	Water	Sewer	Storm	Transport.	Parks	Total	2010 Pop.
1	Pendleton				\$1,472	\$138	\$1,610	16,612
2	Sweet Home	\$1,215	\$624				\$1,839	8,925
3	Ontario	\$975	\$481		\$1,288		\$2,744	11,366
4	Clatskanie	\$1,250	\$1,500				\$2,750	1,737
5	Keizer	\$905			\$1,187	\$1,610	\$3,702	36,478
6	Coquille	\$1,901	\$2,951	\$228	\$280	\$289	\$5,649	3,866
7	Tillamook	\$3,149	\$1,225	\$1,293			\$5,667	4,935
8	Turner	\$2,269	\$2,615		\$479	\$895	\$6,258	1,854
9	Monmouth	\$1,464	\$2,852	\$157	\$394	\$1,726	\$6,593	9,534
10	Sisters	\$2,053	\$2,968		\$1,026	\$613	\$6,660	2,038
11	Coburg	\$3,312			\$728	\$2,835	\$6,875	1,737
12	Fairview	\$2,921	\$2,600	\$342		\$1,746	\$7,608	8,920
13	Sandy	\$1,525	\$1,834		\$2,430	\$2,311	\$8,100	9,570
14	St Helens	\$2,511	\$3,738	\$260	\$251	\$1,362	\$8,122	12,883
15	Roseburg	\$2,052	\$2,082	\$940	\$2,929	\$550	\$8,553	21,181
16	Milwaukie	\$1,620	\$893	\$765	\$1,758	\$3,985	\$9,021	20,291
17	Albany	\$2,211	\$2,645		\$2,582	\$1,745	\$9,183	50,158
18	Brownsville	\$2,095	\$5,160	\$1,970			\$9,225	1,668
19	Wood Village	\$1,524	\$7,794				\$9,318	3,878
20	Klamath Falls	\$2,761	\$5,591			\$1,295	\$9,647	20,840
21	Medford	\$948	\$1,212	\$574	\$3,664	\$3,433	\$9,831	74,907
22	Junction City	\$1,100	\$6,849		\$1,116	\$1,090	\$10,155	5,392
23	Lebanon	\$2,141	\$3,581	\$160	\$1,492	\$2,788	\$10,162	15,518
24	Hood River	\$3,883	\$1,508	\$650	\$1,802	\$2,605	\$10,448	7,167
25	Woodburn	\$2,085	\$2,977	\$220	\$3,532	\$1,752	\$10,566	24,071
26	Sublimity	\$2,370	\$3,370	\$1,880	\$1,810	\$1,200	\$10,630	2,681
27	Madras	\$790	\$4,755	\$198	\$3,323	\$1,685	\$10,751	6,046
28	Newport	\$2,366	\$3,891	\$840	\$1,090	\$2,591	\$10,778	9,989
29	Florence	\$3,557	\$4,456	\$2,050	\$865		\$10,928	8,466
30	<b>Stayton</b>	<b>\$2,670</b>	<b>\$3,528</b>		<b>\$2,562</b>	<b>\$2,305</b>	<b>\$11,065</b>	<b>7,644</b>
31	Lincoln City	\$2,815	\$5,878	\$28	\$660	\$1,900	\$11,281	7,930
32	Independence	\$2,445	\$3,573	\$823	\$3,231	\$1,741	\$11,813	8,591
33	Prineville	2809	4199		\$3,176	\$1,887	\$12,071	9,253
34	Eugene	\$2,689	\$2,191	\$586	\$1,865	\$3,845	\$12,181	156,185
35	Creswell	\$5,277	\$4,746		\$627	\$1,539	\$12,189	5,031
36	Dallas	\$3,940	\$4,027	\$932	\$1,167	\$2,281	\$12,347	14,583
37	Ashland	\$4,264	\$4,264	\$760	\$2,044	\$1,041	\$12,372	20,078
38	North Plains	\$4,298	\$3,200	\$500	\$523	\$3,910	\$12,431	1,947
39	Corvallis	\$1,122	\$3,492	\$174	\$2,471	\$5,449	\$12,708	54,462
40	Salem	\$3,907	\$3,093	\$494	\$1,954	\$3,745	\$13,193	156,455
41	Troutdale	\$1,326	\$4,426	\$852		\$7,137	\$13,741	15,962
42	Cottage Grove	\$6,940	\$1,135	\$694	\$1,680	\$3,659	\$14,108	9,686
43	Veneta	\$1,937	\$6,264	\$168	\$2,024	\$4,066	\$14,459	4,561
44	Redmond	\$2,407	\$3,366	\$2,301	\$3,876	\$2,672	\$14,622	26,215
45	Oregon City	\$4,495	\$3,732	\$650	\$2,606	\$3,543	\$15,026	31,859
46	Springfield	\$3,312	\$5,470	\$1,887	\$1,278	\$3,499	\$15,446	59,403
47	Canby	\$5,933	\$2,337	\$100	\$2,440	\$4,725	\$15,535	15,829
48	Brookings	\$2,222	\$9,646	\$959	\$1,210	\$1,578	\$15,615	6,336
49	West Linn	\$4,628	\$2,633	\$456	\$4,897	\$3,030	\$15,644	25,109
50	Forest Grove	\$4,000	\$1,240	\$500	\$3,600	\$6,888	\$16,228	21,083
51	Aumsville	\$3,979	\$5,291	\$1,050	\$3,701	\$2,611	\$16,632	3,584
52	Gresham	\$4,153	\$5,056	\$824	\$2,795	\$3,837	\$16,665	105,594
53	Newberg	\$5,837	\$5,666	\$311	\$2,909	\$2,017	\$16,740	22,300
54	Hillsboro	\$6,146	\$3,100	\$500	\$3,600	\$4,083	\$17,429	91,611
55	Bend	\$4,520	\$2,840		\$4,574	\$5,782	\$17,716	76,639
56	Tualatin	\$3,397	\$4,665	\$275	\$6,665	\$3,892	\$18,894	26,054
57	Silverton	\$5,043	\$4,731	\$2,070	\$3,057	\$4,505	\$19,406	9,222
58	Tigard	\$7,044	\$3,100	\$500	\$3,440	\$5,997	\$20,081	48,035
59	Beaverton	\$4,953	\$4,665	\$945	\$6,665	\$5,247	\$22,475	89,803
60	Wilsonville	\$7,002	\$4,233	\$780	\$6,340	\$4,602	\$22,957	19,509
61	Pacific City Joint Water & Sanitary District	\$15,033	\$8,121				\$23,154	1,000
62	Lake Oswego	\$6,763	\$2,463	\$135	\$4,195	\$11,650	\$25,206	36,619

# Park and Recreation Master Plan

## Stayton, Oregon

**LEGEND**

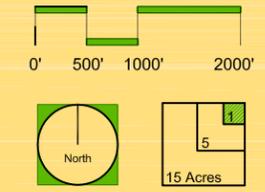
- City Parks
- Public Schools
- Private Schools
- Natural Open Space Areas (Generalized)
- Specialized Indoor Facilities
- Planning Area Boundary (UGB)
- City Limits

**KEY**

- \* Proposed Mini Park
- \* Proposed Community Park
- \* Proposed Neighborhood Park
- \* Proposed Linear Park
- \* Proposed Open Space
- # Site Reference Number



Layout Plan



Base data provided by City of Stayton Public Works Department



March 2004

# PARK AND RECREATION MASTER PLAN STAYTON, OREGON

For 2014 Parks SDC Update

**LEGEND**

**Existing Parks**

**Park Type**

- Community
- Linear
- Mini
- Neighborhood
- Open Space

Urban Growth Boundary

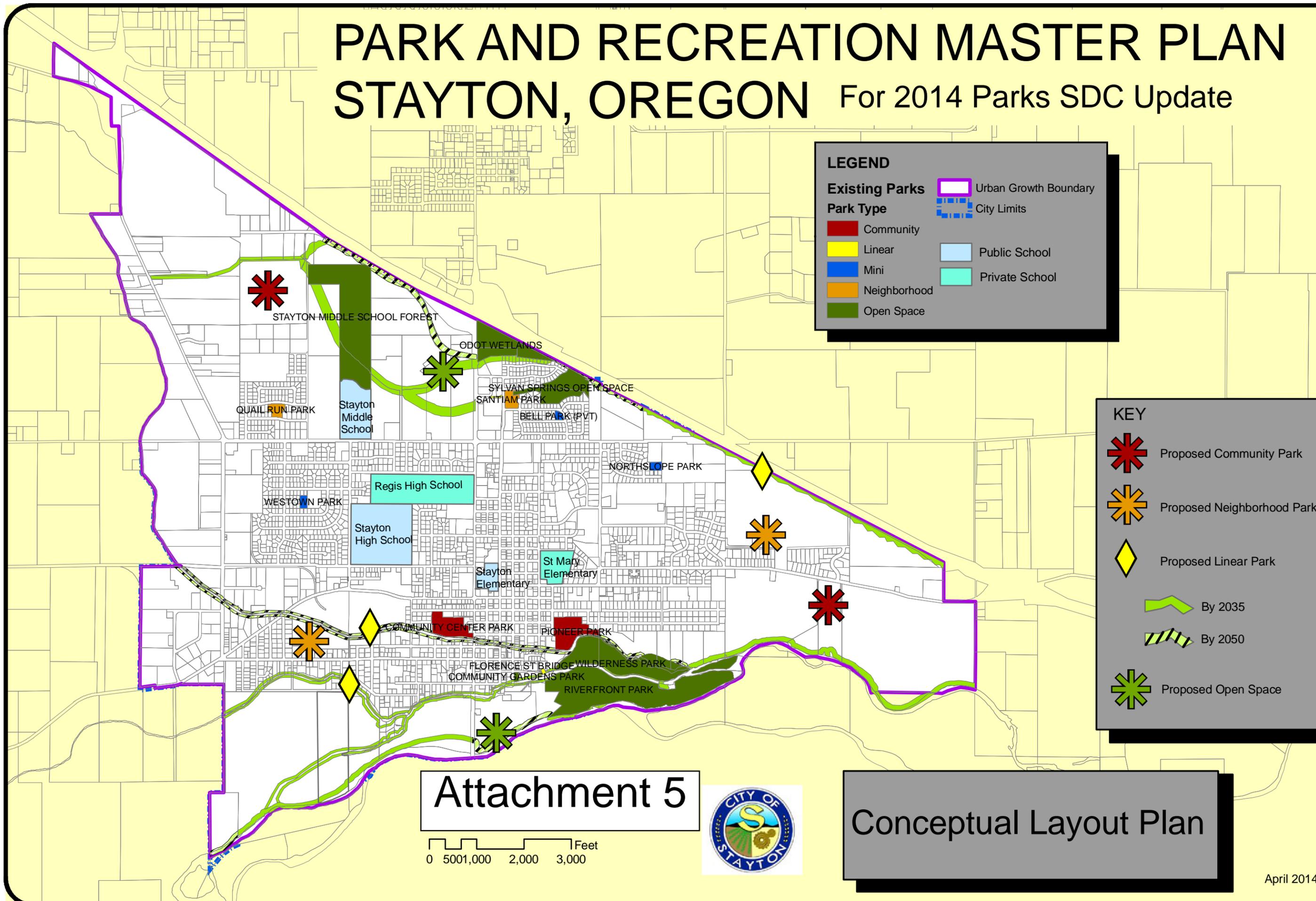
City Limits

Public School

Private School

**KEY**

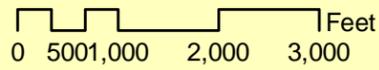
- Proposed Community Park
- Proposed Neighborhood Park
- Proposed Linear Park
- By 2035
- By 2050
- Proposed Open Space

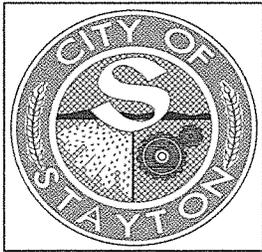


Attachment 5



Conceptual Layout Plan





# MEMORANDUM

**TO:** Mayor Scott Vigil and the Stayton City Council  
**FROM:** Christine Shaffer, Finance Director  
**DATE:** April 21, 2014  
**SUBJECT:** Monthly Finance Department Report

---

Attached are the month-end reports for the major operating funds of the City. I have identified the following funds as the major operating funds: General Fund, Public Works Administration Fund, Library Fund, Water Fund, Sewer Fund, Street Fund and Swimming Pool Fund. If you have any questions, please let me know.

Departmental activity:

Utility Billing:	February 2014	March 2014
Number of Bills sent out	2,635	2,618
Delinquent Notices sent out	449	454
Courtesy Delinquent Notices sent to Landlords	187	235
Notified of Impending Shut off & Penalty	106	109
Customers with Interrupted Services Non-Payment	21	18
Services still Disconnected	0	0

Accounts Payable:	February 2014	March 2014
Number of Checks Issued	159	167
Total Amount of Checks	\$554,171.07	\$239,453.96

CITY OF STAYTON  
 FUND SUMMARY  
 FOR THE 9 MONTHS ENDING MARCH 31, 2014

GENERAL FUND

	YTD ACTUAL	BUDGET	VARIANCE	PCNT
<u>REVENUE</u>				
PROPERTY TAXES	1,673,845.79	1,671,970.00	( 1,875.79)	100.1
CHARGES FOR SERVICES	3,420.25	7,200.00	3,779.75	47.5
GRANTS & CONTRIBUTIONS	382.00	1,500.00	1,118.00	25.5
FRANCHISE FEES	625,653.00	767,000.00	141,347.00	81.6
LICENSES, PERMITS & FEES	12,724.12	16,000.00	3,275.88	79.5
FINES & FORFEITURES	45,163.86	40,500.00	( 4,663.86)	111.5
INTERGOVERNMENTAL	137,592.90	166,400.00	28,807.10	82.7
INTEREST	( 901.04)	500.00	1,401.04	(180.2)
MISCELLANEOUS/TRANSFERS	294,721.58	392,195.00	97,473.42	75.2
	<u>2,792,602.46</u>	<u>3,063,265.00</u>	<u>270,662.54</u>	<u>91.2</u>
<u>EXPENDITURES</u>				
NON-DEPARTMENTAL	251,252.58	404,000.00	152,747.42	62.2
ADMINISTRATION	237,975.42	429,356.00	191,380.58	55.4
POLICE	1,418,381.86	1,915,047.00	496,665.14	74.1
PLANNING	99,035.72	157,771.00	58,735.28	62.8
COMMUNITY CENTER	40,588.18	58,398.00	17,809.82	69.5
PARKS	99,702.91	152,706.00	53,003.09	65.3
STREET LIGHTING	68,133.04	116,685.00	48,551.96	58.4
	<u>2,215,069.71</u>	<u>3,233,963.00</u>	<u>1,018,893.29</u>	<u>68.5</u>

CITY OF STAYTON  
 FUND SUMMARY  
 FOR THE 9 MONTHS ENDING MARCH 31, 2014

PUBLIC WORKS ADMINISTRATION

	YTD ACTUAL	BUDGET	VARIANCE	PCNT
<u>REVENUE</u>				
INTEREST	117.93	100.00	( 17.93)	117.9
MISCELLANEOUS/TRANSFERS	309,750.00	414,000.00	104,250.00	74.8
	<u>309,867.93</u>	<u>414,100.00</u>	<u>104,232.07</u>	<u>74.8</u>
<u>EXPENDITURES</u>				
DEPARTMENT 80	303,849.85	429,908.00	126,058.15	70.7
	<u>303,849.85</u>	<u>429,908.00</u>	<u>126,058.15</u>	<u>70.7</u>

CITY OF STAYTON  
 FUND SUMMARY  
 FOR THE 9 MONTHS ENDING MARCH 31, 2014

LIBRARY FUND

	YTD ACTUAL	BUDGET	VARIANCE	PCNT
<u>REVENUE</u>				
PROPERTY TAXES	143,356.49	145,000.00	1,643.51	98.9
CHARGES FOR SERVICES	59,770.25	78,883.00	19,112.75	75.8
GRANTS & CONTRIBUTIONS	25,655.00	25,200.00	( 455.00)	101.8
LICENSES, PERMITS & FEES	10,245.00	13,500.00	3,255.00	75.9
FINES & FORFEITURES	12,020.93	15,000.00	2,979.07	80.1
INTERGOVERNMENTAL	.00	1,339.00	1,339.00	.0
INTEREST	245.46	400.00	154.54	61.4
MISCELLANEOUS/TRANSFERS	89,650.05	120,500.00	30,849.95	74.4
	<u>340,943.18</u>	<u>399,822.00</u>	<u>58,878.82</u>	<u>85.3</u>
<u>EXPENDITURES</u>				
DEPARTMENT 80	319,109.58	468,189.00	149,079.42	68.2
	<u>319,109.58</u>	<u>468,189.00</u>	<u>149,079.42</u>	<u>68.2</u>

CITY OF STAYTON  
 FUND SUMMARY  
 FOR THE 9 MONTHS ENDING MARCH 31, 2014

WATER ENTERPRISE FUND

	YTD ACTUAL	BUDGET	VARIANCE	PCNT
<u>REVENUE</u>				
CHARGES FOR SERVICES	1,396,467.46	1,745,000.00	348,532.54	80.0
LICENSES, PERMITS & FEES	26,293.25	29,000.00	2,706.75	90.7
INTEREST	2,836.52	3,500.00	663.48	81.0
MISCELLANEOUS/TRANSFERS	8,984.81	11,000.00	2,015.19	81.7
	<u>1,434,582.04</u>	<u>1,788,500.00</u>	<u>353,917.96</u>	<u>80.2</u>
<u>EXPENDITURES</u>				
DEPARTMENT 86	<u>1,419,579.78</u>	<u>1,952,300.00</u>	<u>532,720.22</u>	<u>72.7</u>
	<u>1,419,579.78</u>	<u>1,952,300.00</u>	<u>532,720.22</u>	<u>72.7</u>

CITY OF STAYTON  
 FUND SUMMARY  
 FOR THE 9 MONTHS ENDING MARCH 31, 2014

SEWER ENTERPRISE FUND

	YTD ACTUAL	BUDGET	VARIANCE	PCNT
<u>REVENUE</u>				
CHARGES FOR SERVICES	2,204,818.15	2,866,680.00	661,861.85	76.9
LICENSES, PERMITS & FEES	5.00	.00	( 5.00)	.0
INTEREST	8,515.79	9,000.00	484.21	94.6
MISCELLANEOUS/TRANSFERS	6,545.24	12,500.00	5,954.76	52.4
	<u>2,219,884.18</u>	<u>2,888,180.00</u>	<u>668,295.82</u>	<u>76.9</u>
<u>EXPENDITURES</u>				
DEPARTMENT 86	<u>2,123,458.19</u>	<u>3,459,805.00</u>	<u>1,336,346.81</u>	<u>61.4</u>
	<u>2,123,458.19</u>	<u>3,459,805.00</u>	<u>1,336,346.81</u>	<u>61.4</u>

CITY OF STAYTON  
 FUND SUMMARY  
 FOR THE 9 MONTHS ENDING MARCH 31, 2014

STREET FUND

	YTD ACTUAL	BUDGET	VARIANCE	PCNT
<u>REVENUE</u>				
CHARGES FOR SERVICES	64,312.05	84,000.00	19,687.95	76.6
INTERGOVERNMENTAL	426,425.88	481,269.00	54,843.12	88.6
INTEREST	617.33	200.00	( 417.33)	308.7
MISCELLANEOUS/TRANSFERS	25,148.38	70,250.00	45,101.62	35.8
	<u>516,503.64</u>	<u>635,719.00</u>	<u>119,215.36</u>	<u>81.3</u>
<u>EXPENDITURES</u>				
DEPARTMENT 80	436,847.46	659,063.00	222,215.54	66.3
	<u>436,847.46</u>	<u>659,063.00</u>	<u>222,215.54</u>	<u>66.3</u>

CITY OF STAYTON  
 FUND SUMMARY  
 FOR THE 9 MONTHS ENDING MARCH 31, 2014

SWIMMING POOL FUND

	YTD ACTUAL	BUDGET	VARIANCE	PCNT
<u>REVENUE</u>				
PROPERTY TAXES	148,001.48	149,000.00	998.52	99.3
CHARGES FOR SERVICES	290.00	.00	( 290.00)	.0
INTEREST	347.16	250.00	( 97.16)	138.9
MISCELLANEOUS/TRANSFERS	11,250.00	15,000.00	3,750.00	75.0
	<u>159,888.64</u>	<u>164,250.00</u>	<u>4,361.36</u>	<u>97.3</u>
<u>EXPENDITURES</u>				
DEPARTMENT 86	<u>156,395.56</u>	<u>233,057.00</u>	<u>76,661.44</u>	<u>67.1</u>
	<u>156,395.56</u>	<u>233,057.00</u>	<u>76,661.44</u>	<u>67.1</u>



# Stayton Police Department Council Staff Report



**TO:** Mayor Vigil and the Stayton City Council  
**FROM:** Rich Sebens, Chief of Police  
**SUBJECT:** Monthly Crime Rate Comparison Statistical Sheets  
**DATE:** April 21st, 2014

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Below you will see the stats for the Police Department for the month of March.

	March 2014	Year to Date 2014	March 2013	Year to Date 2013
Police Activity	691	1985	825	2425
Investigated Incidents	320	842	294	936
Citations/Warning	122	345	235	836
Traffic Accidents	7	17	6	21
Juvenile Abuse	2	7	5	11
Arrests	68	169	100	256
Reserve Volunteer Hours	210	838	327	1100
Citizen Volunteer Hours	23	61	69.75	208.25
Peer Court Referrals:	1	8	0	4

# STAYTON POLICE DEPARTMENT CONSOLIDATED MONTHLY CATEGORIZED REPORT-NIBRS 3/1/2014 - 3/31/2014

	CRIMES			CRIMES CLEARED			PERCENT CLEARED			PERSONS ARRESTED		
	3/1/14 to 3/31/14	1/1/14 to 3/31/14	% Change Yr to Yr	3/1/14 to 3/31/14	1/1/14 to 3/31/14	1/1/13 to 3/31/13	3/1/14 to 3/31/14	1/1/14 to 3/31/14	1/1/13 to 3/31/13	3/1/14 to 3/31/14	Juv Adult	Total
<b>NON-CRIMINAL</b>												
ACCIDENT-INJURY	2	3	50.0%									
ACCIDENT-PROPERTY	3	11	120.0%									
ALL OTHER NON-CRIMINAL	206	597	-11.7%									
NON CRIM DOMESTIC DISTURB	9	20	-25.9%									
<b>NON-CRIMINAL TOTALS</b>	<b>220</b>	<b>631</b>	<b>-11.1%</b>									
<b>PERSON</b>												
AGGRAVATED ASSAULT	2	4	-20.0%									
KIDNAPPING	1	2	100.0%									
NEGLIGENT MANSLAUGHTER	0	0	0.0%									
OFFENSE AGAINST FAMILY	0	0	-100.0%									
OTHER ASSAULTS	5	21	0.0%									
RAPE	0	1	0.0%									
RESTRAINING ORDER VIOLATION	1	3	-66.7%									
ROBBERY	0	0	-100.0%									
SEX OFFENSES	2	4	33.3%									
<b>PERSON TOTALS</b>	<b>11</b>	<b>33</b>	<b>-5.7%</b>									
<b>PROPERTY</b>												
ARSON	0	1	0.0%									
BURGLARY - BUSINESS	1	3	50.0%									
BURGLARY - OTHER STRUCTURE	2	3	0.0%									
BURGLARY - RESIDENCE	8	16	128.6%									
COUNTERFEITING/FORGERY	1	4	-33.3%									
FRAUD	4	18	20.0%									
LARCENY												
Pickpocket	0	0	-100.0%									
Purse Snatching	0	0	-100.0%									
Shoplifting	3	10	-44.4%									
Theft from a Motor Vehicle	11	14	-46.2%									
Theft of MV Parts/Accessories	2	3	-25.0%									
Theft of Bicycle	5	8	1700.0%									
Theft from Building	4	6	-33.3%									
All Other Larceny	11	26	-39.5%									

	CRIMES			CRIMES CLEARED BY ARREST & EXCEPTION			PERCENT CLEARED			PERSONS ARRESTED			
	3/1/14 to 3/31/14	1/1/14 to 3/31/14	1/1/13 to 3/31/13	% Change Yr to Yr	3/1/14 to 3/31/14	1/1/14 to 3/31/14	1/1/13 to 3/31/13	3/1/14 to 3/31/14	1/1/14 to 3/31/14	1/1/13 to 3/31/13	Juv	Adult	Total
	3/1/14	1/1/14	1/1/13	%	3/1/14	1/1/14	1/1/13	3/1/14	1/1/14	1/1/13	0	3	3
LARCENY	36	67	103	-35.0%	3	11	26	8.3%	16.4%	25.2%	0	3	3
MOTOR VEHICLE THEFT	2	4	4	0.0%	1	2	1	50.0%	50.0%	25.0%	0	0	0
STOLEN PROPERTY	0	1	2	-50.0%	0	1	2	0.0%	100.0%	100.0%	0	0	0
VANDALISM	6	21	29	-27.6%	3	9	7	50.0%	42.9%	24.1%	0	2	2
<b>PROPERTY TOTALS</b>	<b>60</b>	<b>138</b>	<b>172</b>	<b>-19.8%</b>	<b>11</b>	<b>31</b>	<b>48</b>	<b>18.3%</b>	<b>22.5%</b>	<b>27.9%</b>	<b>0</b>	<b>8</b>	<b>8</b>
<b>SOCIETY</b>	<b>36</b>	<b>55</b>	<b>58</b>	<b>-5.2%</b>	<b>5</b>	<b>19</b>	<b>37</b>	<b>13.9%</b>	<b>34.5%</b>	<b>63.8%</b>	<b>0</b>	<b>4</b>	<b>4</b>
ALL OTHER	0	1	0	0.0%	0	0	0	0.0%	0.0%	0.0%	0	0	0
ANIMAL	0	0	8	-100.0%	0	0	8	0.0%	0.0%	100.0%	0	0	0
CURFEW	1	3	2	50.0%	1	3	2	100.0%	100.0%	100.0%	0	1	1
CUSTODY-MENTAL	0	0	0	0.0%	0	0	0	0.0%	0.0%	0.0%	0	0	0
CUSTODY-PROTECTIVE	1	7	7	0.0%	1	6	7	100.0%	85.7%	100.0%	0	2	2
DISORDERLY CONDUCT	2	2	7	-71.4%	2	2	7	100.0%	100.0%	100.0%	0	2	2
DR WHILE SUSP	4	12	12	0.0%	4	12	12	100.0%	100.0%	100.0%	0	4	4
DRIVING UNDER INFLUENCE	0	0	3	-100.0%	0	0	3	0.0%	0.0%	100.0%	0	0	0
ELUDING	0	1	0	0.0%	0	0	0	0.0%	0.0%	0.0%	0	0	0
ESCAPE	0	0	1	-100.0%	0	0	1	0.0%	0.0%	100.0%	0	0	0
FAIL TO DISPLAY DL	0	0	0	0.0%	0	0	0	0.0%	0.0%	0.0%	0	0	0
FUGITIVE	2	8	14	-42.9%	0	0	0	0.0%	0.0%	0.0%	0	28	28
HIT & RUN	1	3	2	50.0%	1	3	2	100.0%	100.0%	100.0%	0	1	1
LIQUOR LAWS	0	3	13	-76.9%	0	3	13	0.0%	100.0%	100.0%	0	0	0
MIP TOBACCO	4	14	20	-30.0%	4	13	17	100.0%	92.9%	85.0%	1	5	6
NARCOTICS/DRUGS	2	3	2	50.0%	0	0	1	0.0%	0.0%	50.0%	0	0	0
PROP RECOV - FOR OTHER AGENCY	1	3	0	0.0%	1	3	0	100.0%	100.0%	0.0%	0	1	1
RECKLESS DRIVING	0	1	14	-92.9%	0	1	12	0.0%	100.0%	85.7%	0	0	0
RUNAWAY	0	0	1	-100.0%	0	0	0	0.0%	0.0%	0.0%	0	0	0
SEX OFFENSES	4	9	18	-50.0%	1	5	14	25.0%	55.6%	77.8%	0	0	0
TRESPASS	0	0	2	-100.0%	0	0	1	0.0%	0.0%	50.0%	0	0	0
VEH RECOV - FOR OTHER AGENCY	16	35	41	-14.6%	15	34	41	93.8%	97.1%	100.0%	0	1	1
WARRANT	2	5	5	0.0%	1	4	4	50.0%	80.0%	80.0%	0	1	1
WEAPONS													
<b>SOCIETY TOTALS</b>	<b>76</b>	<b>165</b>	<b>230</b>	<b>-28.3%</b>	<b>36</b>	<b>108</b>	<b>184</b>	<b>47.4%</b>	<b>65.5%</b>	<b>80.0%</b>	<b>1</b>	<b>50</b>	<b>51</b>
<b>GRAND TOTALS</b>	<b>367</b>	<b>967</b>	<b>1,147</b>	<b>-15.7%</b>									



# CITY OF STAYTON

## MONTHLY OPERATING REPORT

**TO:** Mayor A. Scott Vigil and the Stayton City Council

**FROM:** Jennifer Russell, Administrative Assistant

**THRU:** Dave Kinney, Public Works Director

**DATE:** April 21, 2014

**SUBJECT:** March Monthly Operating Report

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**KEY ACTIVITIES**      **STATUS**

- **WWTP Facility**      Effluent flows: 66.5 million gallons were treated during March. The highest flow was 3.70 million gallons on March 6th, and the lowest flow was 1.38 million gallons on March 23rd. The average flow was 2.15 million gallons. Total rainfall for March was 10.37 inches. 25.47 tons of dewatered biosolids were produced.
  
- **WTP**      Highest production day was 1,554,000 on the 11th.
- **Water System**      Installed 5 radio read units. Water services on W. Washington from First Ave to N. Evergreen have been switched to the 12 inch water main. Water line control valves have been installed at Locust and Douglas as well as W. Washington and Douglas. Water line control valves have been installed at W. Washington and Birch as well as Locust and Birch. The Birch Ave. water line, water services and two new hydrants are in place. The water services on Birch will be switched over the first couple of weeks in April.
  
- **Streets**      Swept 81 curb miles and removed approximately 21 cubic yards of material. The annual Street Tree Trimming Program took place in the Westtown area this year.
  
- **Parks**      Volunteers: SHS Tree Planting – 130 Hours; SHS Life Skills – 37.5 Hours; Citizen – 20; Court Ordered – 8 hours. Total Hours = 195.5.
- **Building Permits**

<u>Permit Type</u>	<u>Issued</u>	<u>SDC's Paid</u>
New Single Family Dwelling	1	\$11,735*
Residential Building Addition/Alteration/Other	1	0
Commercial Building Addition/Alteration/Other	1	0
Electrical	0	0
Mechanical	0	0
Plumbing	0	0
<b>TOTAL</b>	<b>3</b>	<b>\$11,735</b>

*One (1) Residential SDC = \$11,065, \*11,735 includes Mill Creek Fee of \$670.00.*



**CITY OF STAYTON**  
**MEMORANDUM**

**TO:** Mayor A. Scott Vigil and City Councilors  
**THRU:** City Administrator Keith Campbell  
**FROM:** David W. Kinney, Public Works Director  
**DATE:** April 21, 2014  
**SUBJECT:** Public Works Update – Informational Items

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Here is a brief update on a few projects and issues the Public Works Department is currently working on:

1. **Water Systems Project -- Birch & Douglas Water Improvements:** Canyon Contracting has installed a new 8” ductile iron water main on Birch Ave. (Washington to Locus). Two new hydrants were added. New water service lines were installed to all homes. Valve clusters were placed at four intersections: Birch & Washington, Douglas & Washington, Douglas & Locust and Birch & Locust.

The completion of this project corrects fire flow deficiencies behind the Stayton Plaza shopping center. It also replaces and abandons undersized (1 ½”, 2” & 4”) water mains.

A similar project on Douglas St. (Locust to Washington) is planned for FY 2014-2015.

2. **Pioneer Park - Phase 1 Improvements:**

- a. ***Open House – April 29, 2014 – 5:30 – 7:00 pm @ Stayton Library:*** The Parks Board will hold an open house for neighbors to review the Pioneer Park final design plans for the new restrooms, picnic shelter, park entry, plaza and other improvements at Pioneer Park. The Parks Board will also share a phasing plan for future Pioneer Park improvements. Invitations were mailed out to neighbors on April 15<sup>th</sup>.

- a. ***Design Drawings:*** The following design drawings are attached.

- i. Phase 1 – Landscaping/Site Details.
- ii. Restroom Design
- iii. Picnic Shelter Design

A presentation to the Council is scheduled for May 7<sup>th</sup> meeting.

- b. **Funding:** In order to completely fund the project, the City needs another \$85,000 in matching funds which will come from a Parks Board fundraiser, in-kind donations and foundation grants. The Parks Board has discussed fundraising ideas at their last 2 meetings. In February, the Freres Foundation awarded a \$5,000 grant. Jennifer Russell has been working hard writing grant applications for the project.

Here is list of pending foundation applications:

<u>Foundation</u>	<u>Amount</u>	<u>Grant Application Status</u>
• NORPAC Foundation	\$ 5,000	Filed 12-20-13 April/May decision
• OCF - Park Fund	\$ 5,000	Filed 2-01-14 May, 2014 decision
• OCF – Wipper Fund	\$ 35,000	Filed 2-01-14 May, 2014 decision
• OCF – Community Fund	\$ 25,000	Filed 2-01-14 May, 2014 decision
• Ford Family	up to \$200,000	Pre-app filed 3-2014. Review in May, Final decision in August.
• Others – Other applications may be filed depending on decisions made on the above list.		

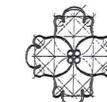
### 3. **Storm Drainage:**

#### a. **Automation of Headgates Project:**

- i. **Preliminary Design:** AMEC Consulting Engineers has prepared a pre-design report and cost estimate of \$615,000+/- . The project includes headgates at Salem Ditch, Main Canal, Power Canal, Mixed Ditch and the Butler Lateral. It also includes a SCADA electronic monitoring system and temperature probes at each headgate site and various locations along the SWCD canal system.
- ii. **Marion County Community Project Grant (\$19,500):** This grant funds the pre-design report and preliminary engineering for the project.
- iii. **Marion Soil & Water Conservation District (MSWCD) Grant & In-Kind Commitment:** MSWCD has agreed to provide a \$20,000 cash grant and provide an estimated \$30,000 to \$50,000 worth of temperature probes and monitoring equipment to the project. This grant requires inclusion of the additional monitoring stations throughout the SWCD canal system.
- iv. **Natural Resources and Conservation Service (NRCS):** A \$75,000 federal grant has been approved for the project.
- v. **Oregon Watershed Enhancement Board (OWEB) Grant Application:** Brent Stevenson and AMEC Consulting are preparing a grant application (\$275,000 to \$325,000 range). The grant will pay for approximately 50% of the construction. A draft grant application will be available for city review and comments during the week of April 14<sup>th</sup>. The grant application deadline is April 21<sup>st</sup>. Brent and the City staff are soliciting letters of support from the N. Santiam Watershed Council, Marion Soil and Water Conservation District, City of Stayton and Marion County.

b. AMG Meeting – May 21<sup>st</sup> @ 3:30 pm: The 2<sup>nd</sup> meeting of the Adaptive Management Group, a joint committee of SWCD / City staff and elected officials will be held at the Stayton Library on May 21<sup>st</sup>. Agenda items will include:

- Automation of headgates: Design and Funding
- Water quality sampling report by the City.
- Storm Drainage Fee – Report on revenues during 1<sup>st</sup> 2 months
- Funding / Grant updates
- Public Works Design Standards – Storm Drainage



Quatrefoil, Inc.  
 Design • Landscape Architecture • Space Planning  
 404 SE 86<sup>th</sup> Ave. Portland, Oregon 97215  
 Tel: (503) 256-8955 Fax: (503) 256-3460

# Pioneer Park Improvements

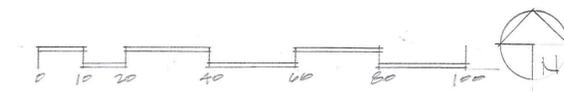
## City of Stayton

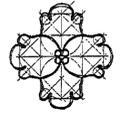
362 N. Third Avenue  
 Stayton, Oregon

ENTRY PLAZA  
 RESTROOM  
 AREA

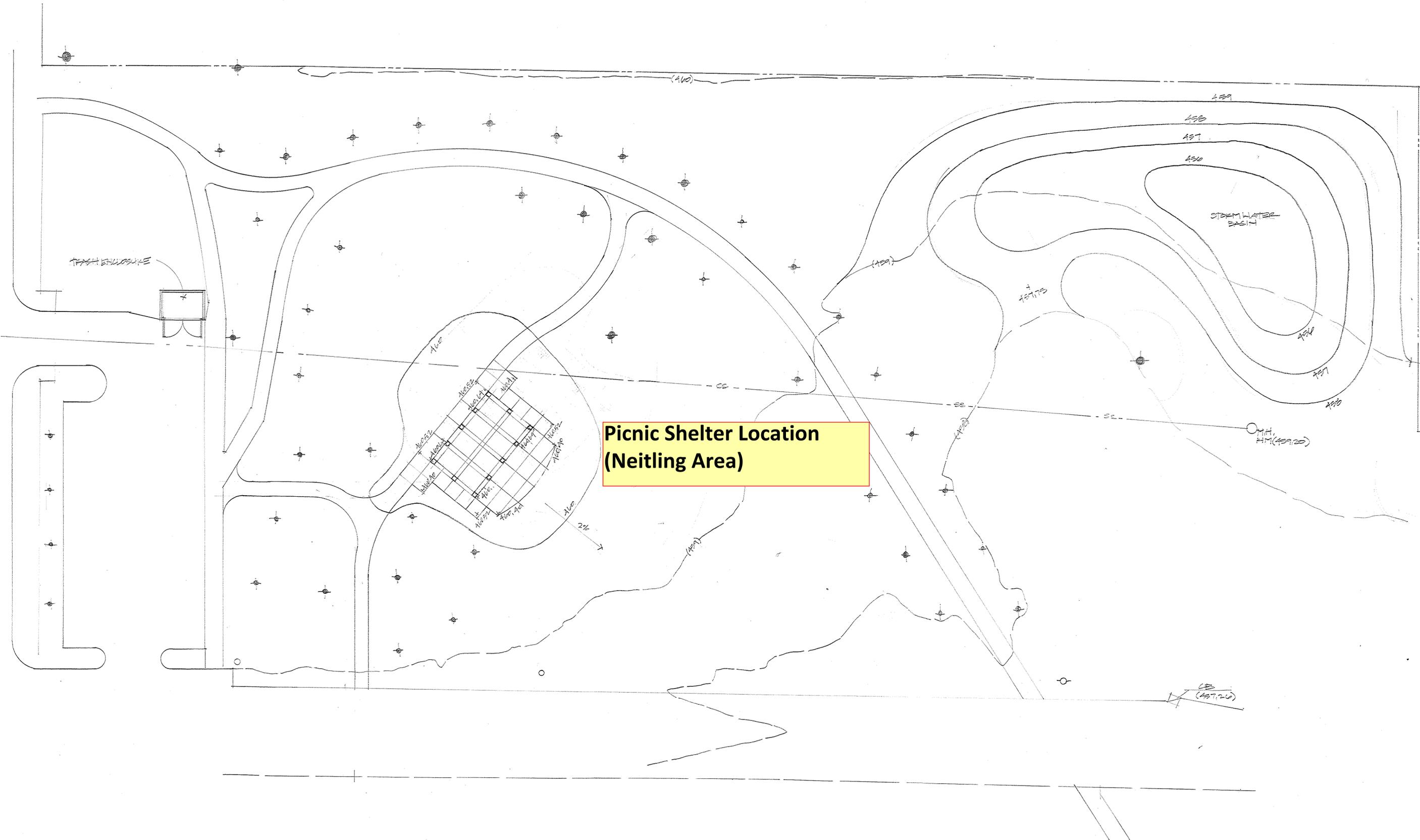
REVISIONS:

DATE: 12.10.2019  
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 SHEET: 40.1





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 404 SE 80<sup>th</sup> Ave. Portland, Oregon 97215  
 Tel: (503) 256-8955 Fax: (503) 256-3460

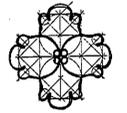


**Pioneer Park Improvements**  
 City of Stayton  
 Stayton, Oregon  
 362 N. Third Avenue

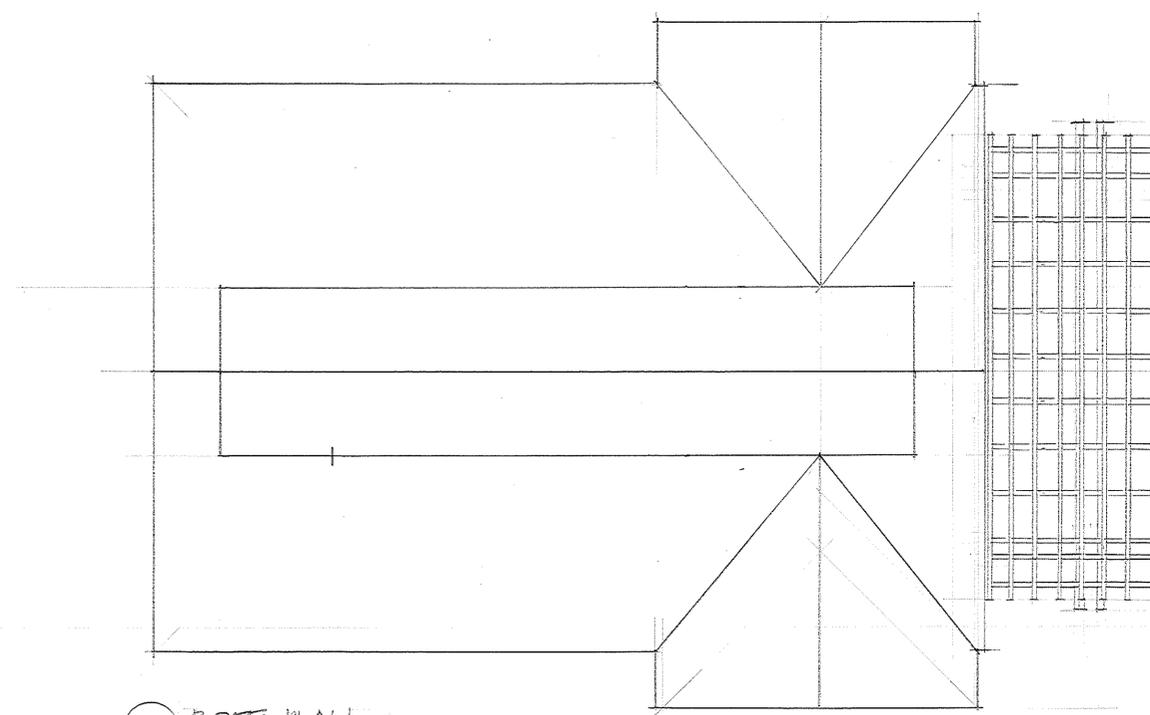
ACTIVITY  
 BANQUET  
 AREA

REVISIONS:

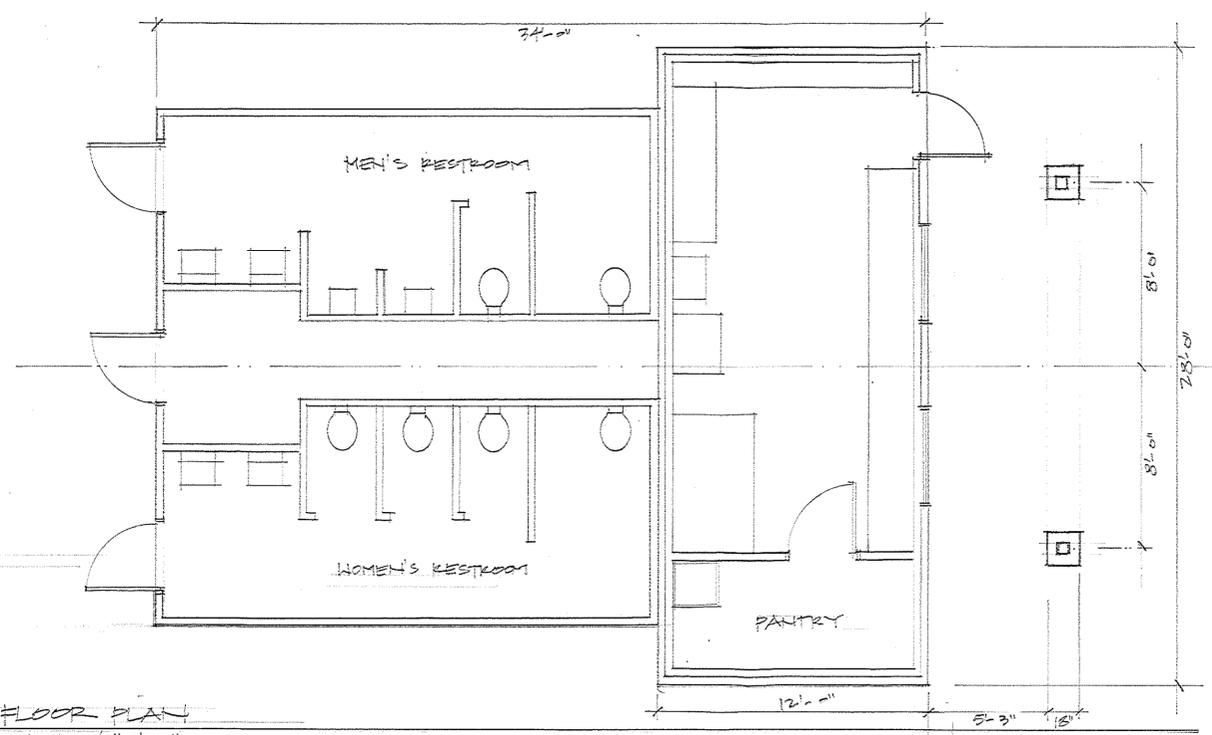
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 SHEET: DD.2



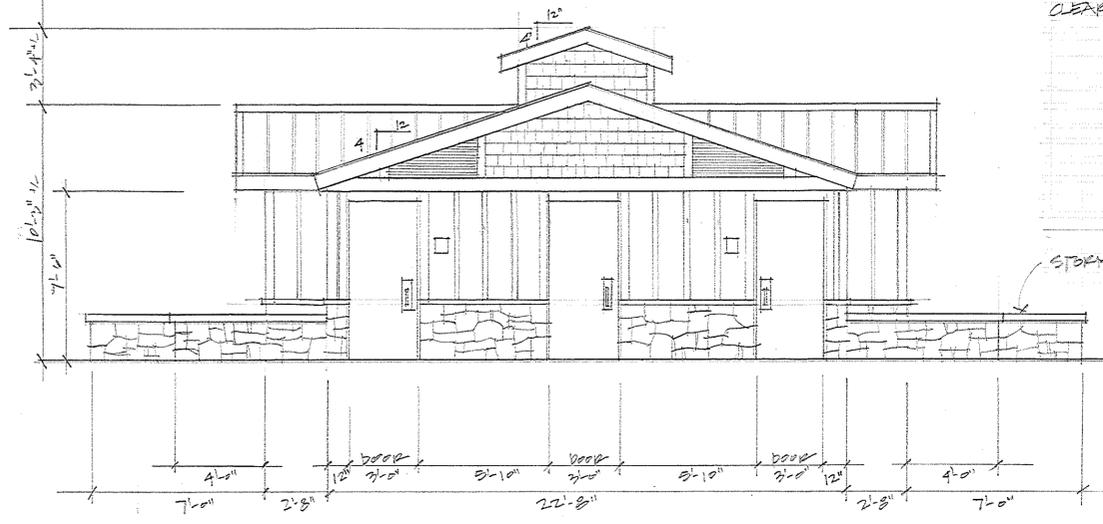
Quatrefoil, Inc.  
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 404 SE 8th Ave. Portland, Oregon 97205  
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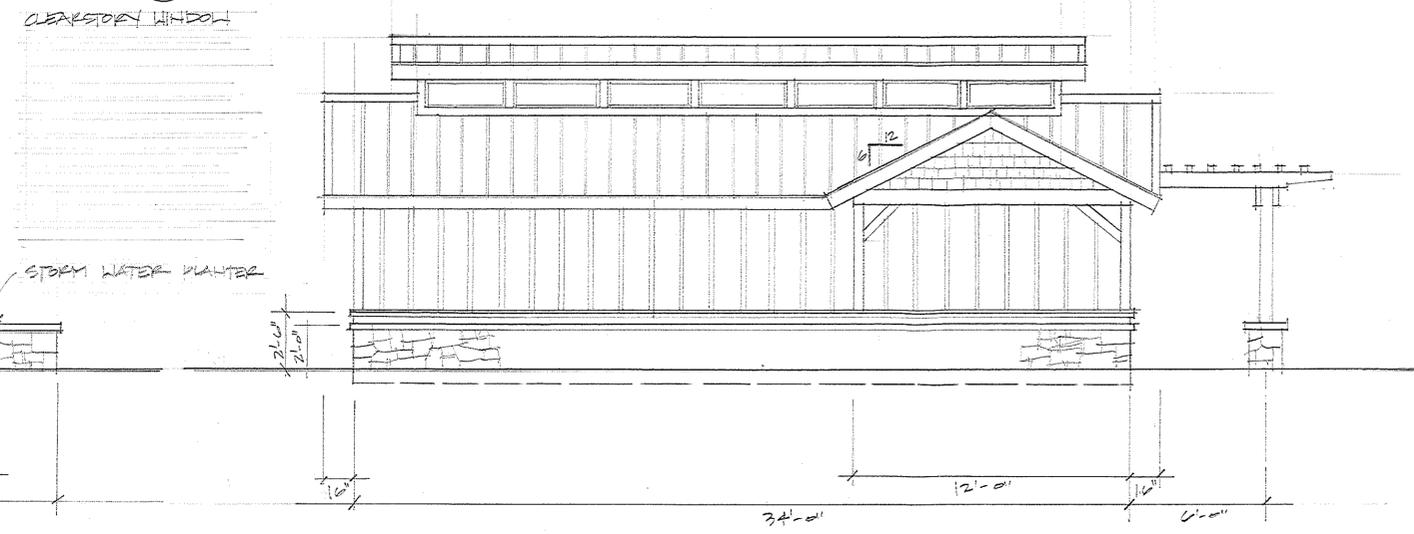
1 ROOF PLAN  
 SCALE: 1/4" = 1'-0"



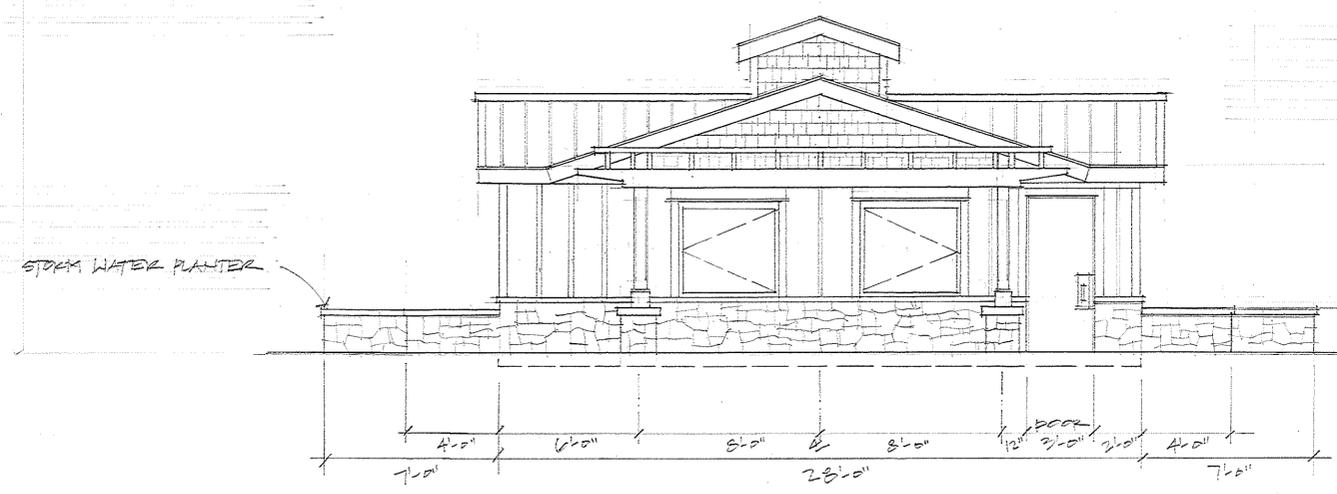
2 FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



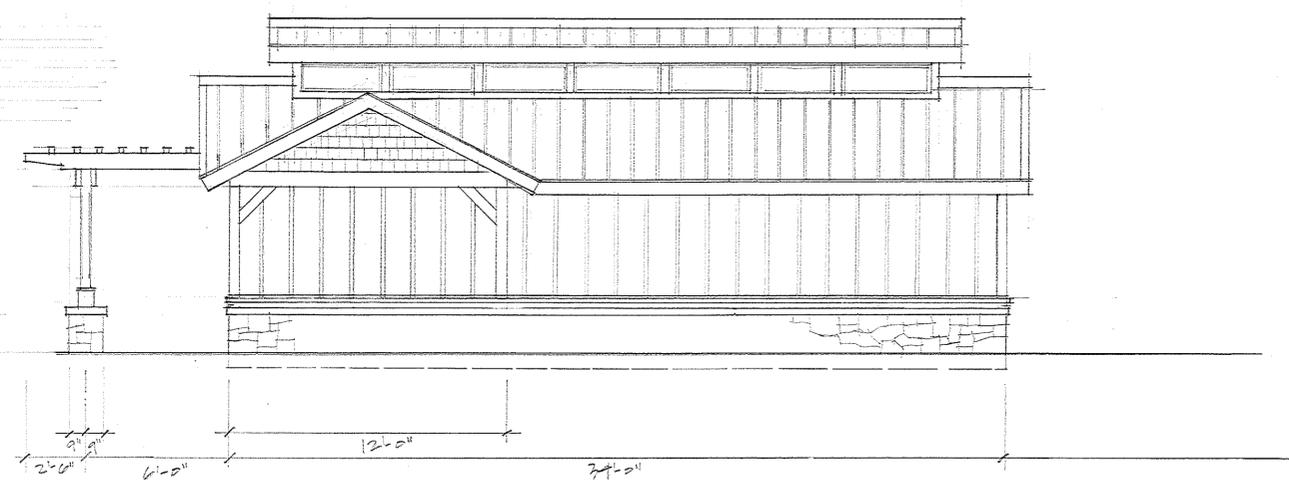
3 NORTH ELEVATION  
 SCALE: 1/4" = 1'-0"



4 WEST ELEVATION  
 SCALE: 1/4" = 1'-0"



5 SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"



6 EAST ELEVATION  
 SCALE: 1/4" = 1'-0"

Pioneer Park Master Plan  
 City of Stayton

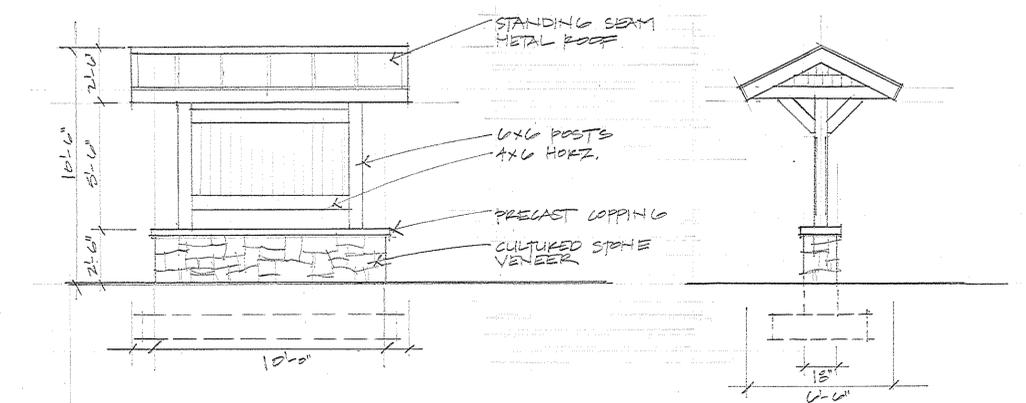
Stayton, Oregon

362 N. Third Avenue

RESTROOM BUILDING

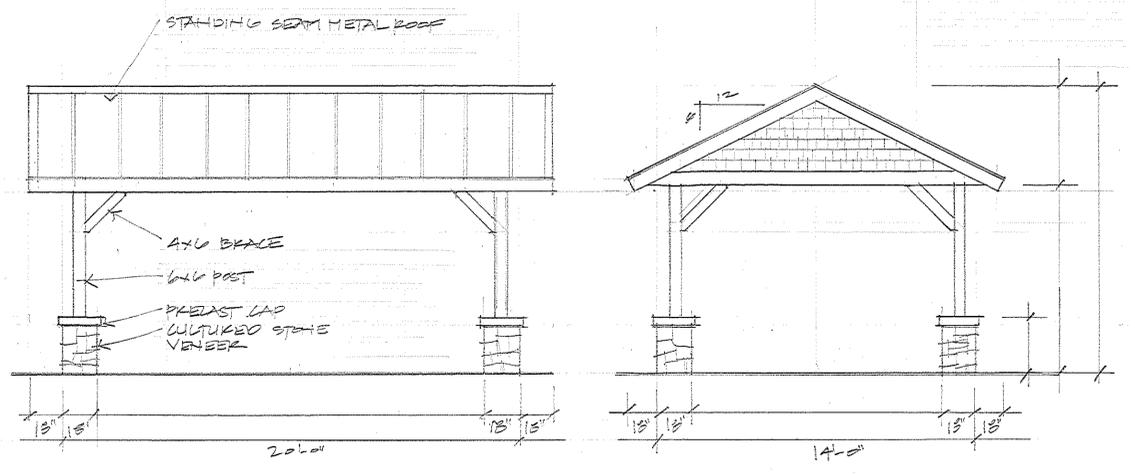
REVISIONS:

DATE: 2.21.2014  
 SCALE: 1/4" = 1'-0"  
 SHEET: DD.3



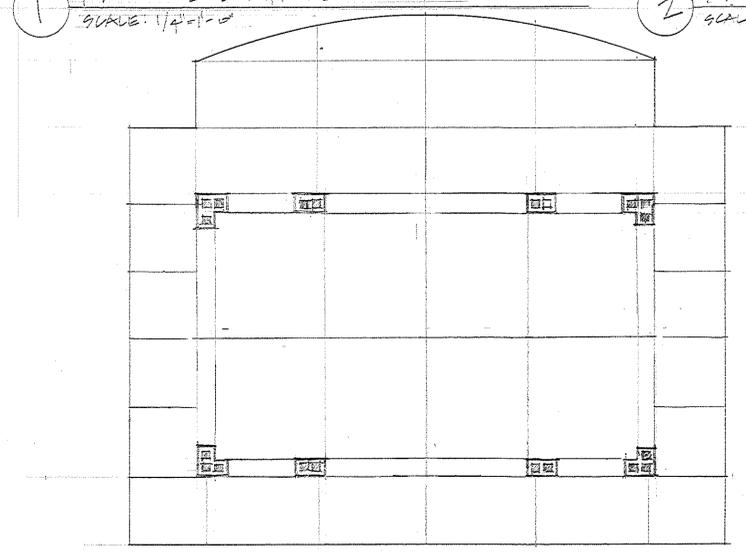
1 KIOSK - ELEVATION  
 SCALE: 1/4"=1'-0"

2 KIOSK - SIDE ELEVATION  
 SCALE: 1/4"=1'-0"

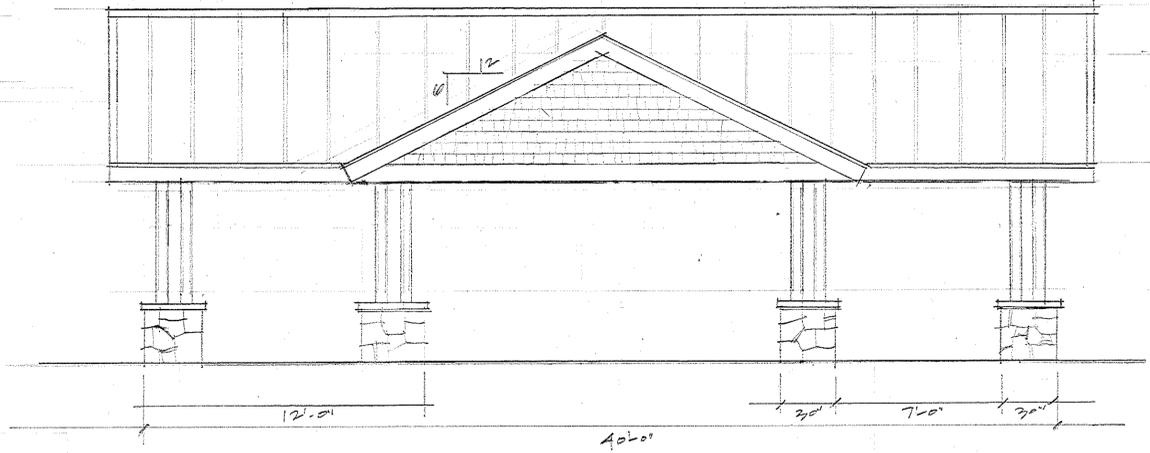


3 PICNIC SHELTER - FRONT ELEVATION  
 SCALE: 1/4"=1'-0"

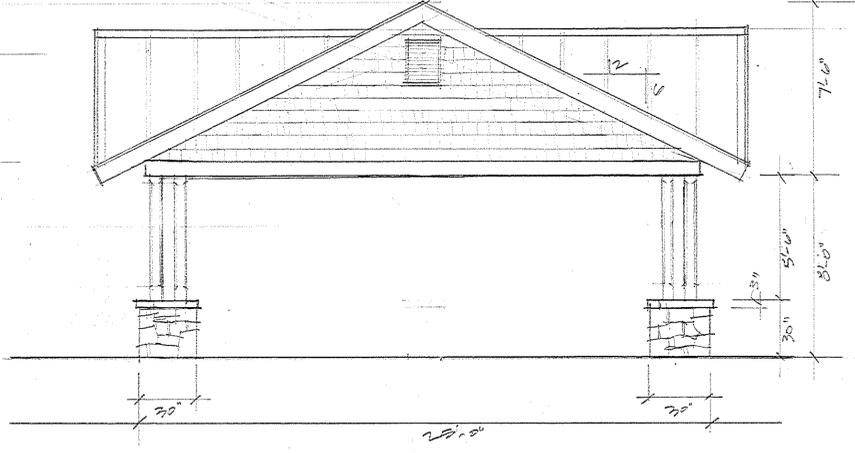
4 PICNIC SHELTER - SIDE ELEVATION  
 SCALE: 1/4"=1'-0"



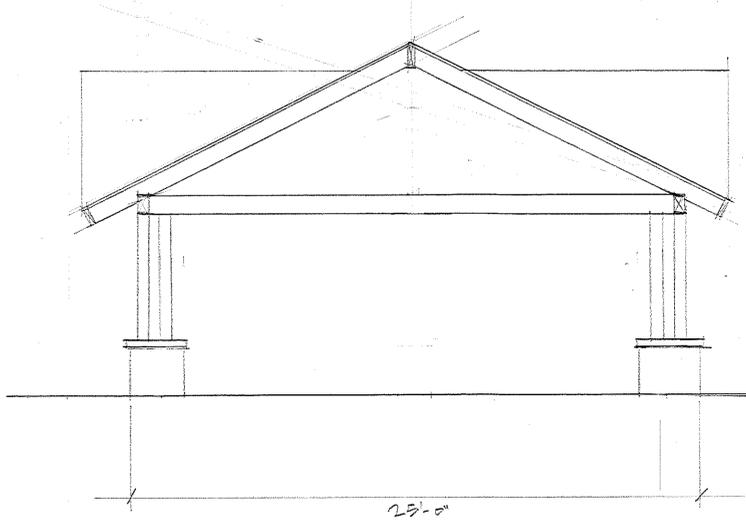
5 ACTIVITY PAVILLION - PLAN  
 SCALE: 1/8"=1'-0"



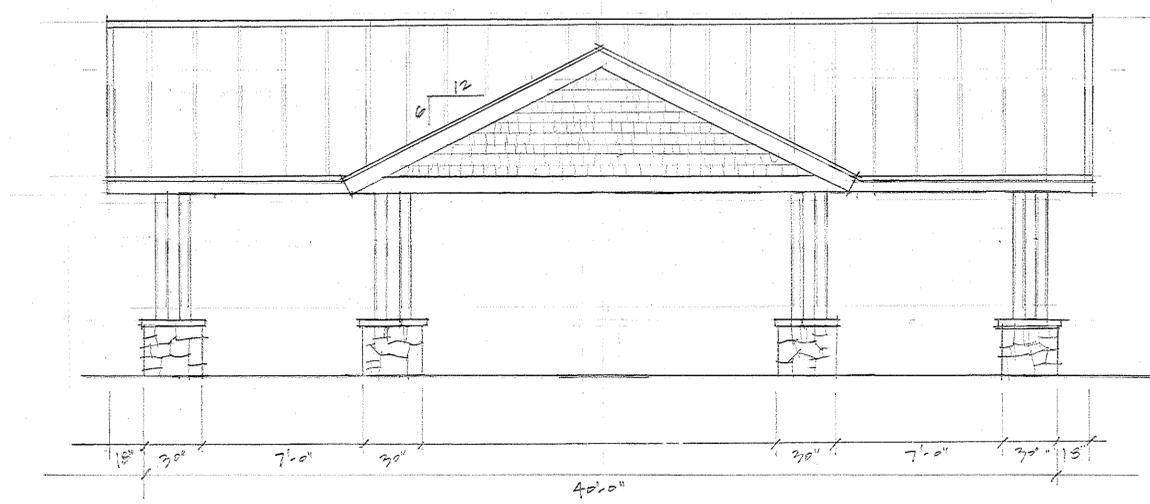
6 ACTIVITY PAVILLION - REAR ELEVATION  
 SCALE: 1/4"=1'-0"



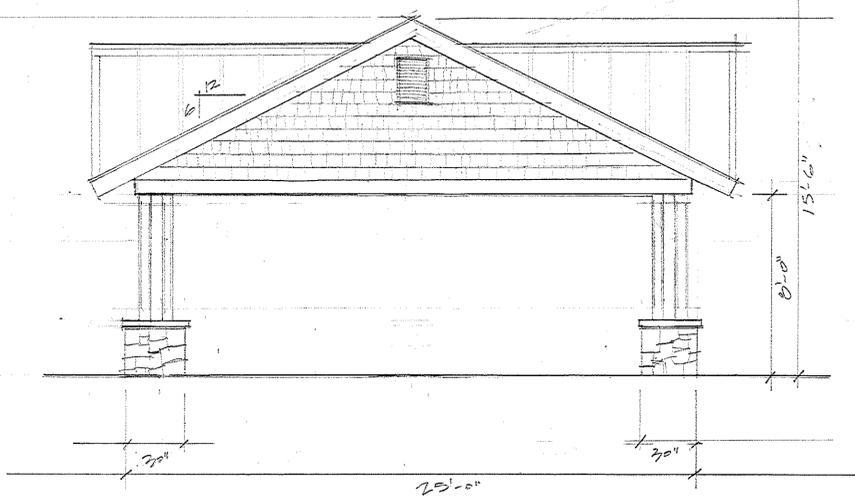
7 ACTIVITY PAVILLION - SIDE ELEVATION - NORTH  
 SCALE: 1/4"=1'-0"



8 ACTIVITY PAVILLION - SECTION  
 SCALE: 1/4"=1'-0"



9 ACTIVITY PAVILLION - FRONT ELEVATION  
 SCALE: 1/4"=1'-0"



10 ACTIVITY PAVILLION - SIDE ELEVATION - SOUTH  
 SCALE: 1/4"=1'-0"

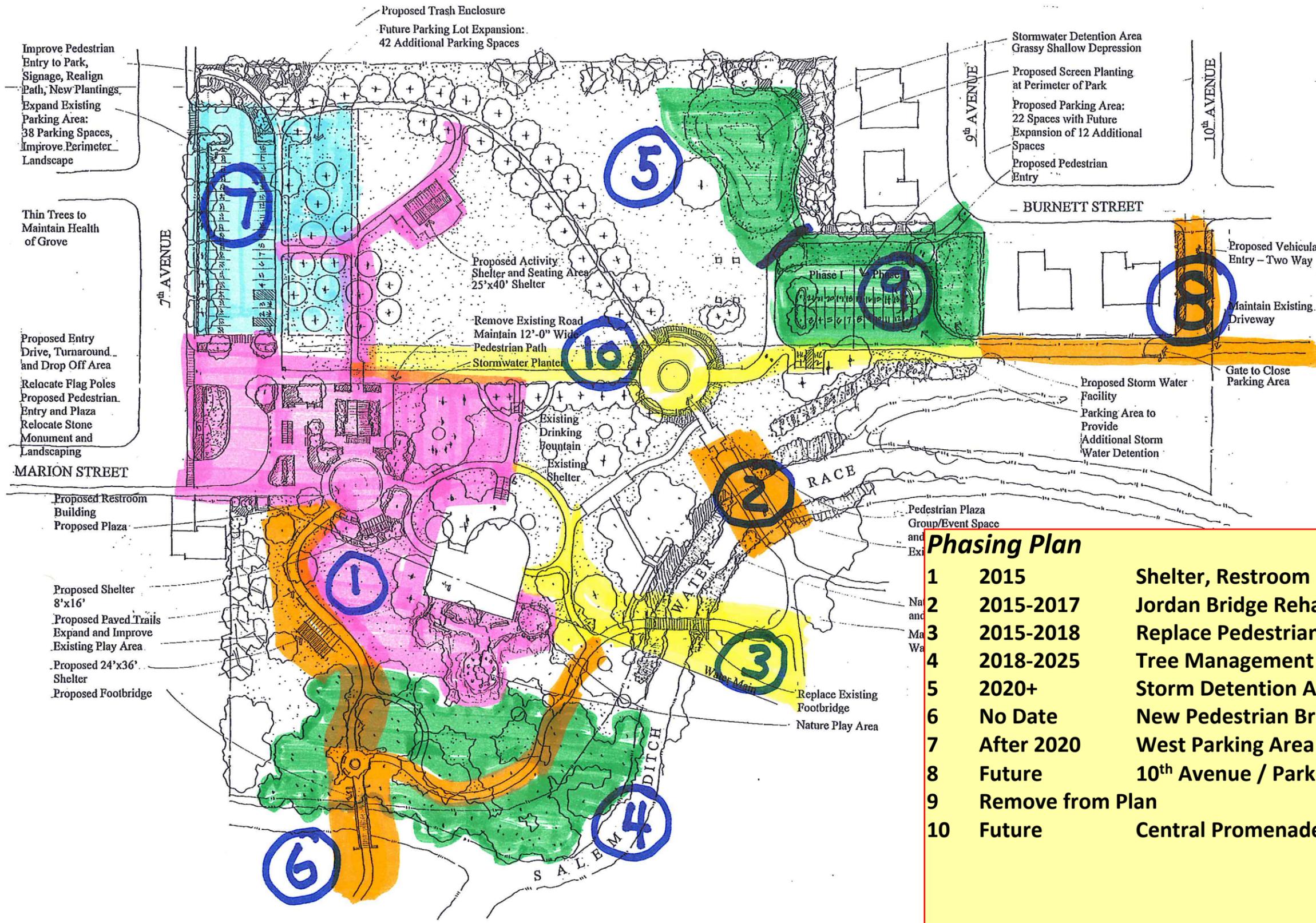
STRUCTURES

REVISIONS:  
 5.7.2014

DATE:  
 2.21.2014

SCALE:  
 AS SHOWN

SHEET:  
 DD.4



Improve Pedestrian Entry to Park, Signage, Realign Path, New Plantings, Expand Existing Parking Area: 38 Parking Spaces, Improve Perimeter Landscape

Thin Trees to Maintain Health of Grove

Proposed Entry Drive, Turnaround and Drop Off Area

Relocate Flag Poles, Proposed Pedestrian Entry and Plaza, Relocate Stone Monument and Landscaping

MARION STREET

Proposed Restroom Building, Proposed Plaza

Proposed Shelter 8'x16'

Proposed Paved Trails, Expand and Improve Existing Play Area

Proposed 24'x36' Shelter, Proposed Footbridge

Proposed Trash Enclosure, Future Parking Lot Expansion: 42 Additional Parking Spaces

Proposed Activity Shelter and Seating Area 25'x40' Shelter

Remove Existing Road, Maintain 12'-0" Wide Pedestrian Path, Stormwater Plantings

Existing Drinking Fountain, Existing Shelter

Replace Existing Footbridge, Nature Play Area

Stormwater Detention Area, Grassy Shallow Depression

Proposed Screen Planting at Perimeter of Park

Proposed Parking Area: 22 Spaces with Future Expansion of 12 Additional Spaces

Proposed Pedestrian Entry

BURNETT STREET

Proposed Vehicular Entry - Two Way

Maintain Existing Driveway

Gate to Close Parking Area

Proposed Storm Water Facility, Parking Area to Provide Additional Storm Water Detention

Pedestrian Plaza, Group/Event Space and Existing

### Phasing Plan

1	2015	Shelter, Restroom & Plaza
2	2015-2017	Jordan Bridge Rehab
3	2015-2018	Replace Pedestrian Bridge
4	2018-2025	Tree Management
5	2020+	Storm Detention Area (if needed)
6	No Date	New Pedestrian Bridge
7	After 2020	West Parking Area
8	Future	10 <sup>th</sup> Avenue / Park Rd. Connection
9	Remove from Plan	
10	Future	Central Promenade

  
 Quatrefol, Inc.  
 Design - Landscaping - Architecture - Urban Planning  
 1015 SE 8<sup>th</sup> Ave., Portland, Oregon 97214  
 Tel: (503) 255-9333 Fax: (503) 255-1510

REGISTERED  
 352  
  
 E. F. BANNISSON  
 OREGON  
 07/26/1998  
 LANDSCAPE ARCHITECT

**er Park Master Plan**  
 City of Stayton  
 Avenue Stayton, Oregon



**STAYTON IS REVIEWING THE FINAL DESIGN FOR THE PIONEER PARK  
REHABILITATION PROJECT AND WE WANT YOUR INPUT!**

**PLEASE ATTEND OUR OPEN HOUSE TO GIVE US FEEDBACK!**

**WHEN:** Tuesday, April 29, 2014 from 5:30 p.m. to 7:00 p.m.

**WHERE:** Stayton Public Library—E.G. Siegmund Room  
515 N. First Avenue

**QUESTIONS:** (503) 769-2919 or [jrussell@ci.stayton.or.us](mailto:jrussell@ci.stayton.or.us)



See you there!



**CITY OF STAYTON**  
**M E M O R A N D U M**

**TO: Mayor A. Scott Vigil and City Councilors**

**THRU: City Administrator Keith Campbell**

**FROM: David W. Kinney, Public Works Director  
Dan Fleishman, Director of Planning and Community Development**

**DATE: April 21, 2014**

**SUBJECT: Wilco Road – Future Improvements Conceptual Plan**

---

The City has been working with Marion County Public Works to prepare a long-term concept plan for future improvements on Wilco Rd. City Engineer John Ashley has prepared a plan for proposed near term improvements (3-lane section) and long term improvements (3-lane section plus a 5-lane signalized intersection at the Shaff Rd./Golf Club Rd. intersection).

**Wilco Road Existing Conditions:**

Wilco Road is a 28' to 40' wide two-lane street that serves the City of Stayton's industrial area on the west side of the City. The roadway is currently not improved to city standards. The existing street does not have curb and gutters, storm drainage, sidewalks, or bike lanes, except at the Roth's/Bi-Mart shopping center located along the east side of Wilco Road near the Golf Club Road/Shaff Road/Wilco Road intersection.

**Reason for Preparing the Wilco Road Conceptual Plan:**

The City of Stayton has initiated a conceptual design effort in order to provide land use applicants general guidance on the proposed street design criteria, including the anticipated right of way requirements, typical street design sections, stormwater management strategies, and other pertinent information for potential development located within and around the Wilco Road area. For the purposes of this conceptual design effort, the Wilco Road area includes Wilco Road, Wilco Road's interior street intersections, and the outlying street intersections of Golf Club Road/Shaff Road/Wilco Road and Wilco Road/W Washington Street/Ida Street. Also included, is proposed street design criteria for the streets that are contiguous to all of these intersections.

## ***Proposed Street and Pedestrian Improvements***

The City's Public Works Design Standards (PWDS, 2010 *ed.*) require Wilco Road, Shaff Road, and Stayton Road to be improved to a 50' wide street section with two 12' wide travel lanes, a 14' wide center lane, two 6' wide bike lanes, and 6' wide property line sidewalks. Marion County Public Works has agreed future improvements should comply with the City's design standards.

The City's Transportation System Plan (*H. Lee and Associates, 2004*) recommends that Golf Club Road be widened from the Highway 22 Westbound Ramps to Shaff Road and that the intersection at Golf Club Road/Shaff Road/Wilco Road be signalized to help mitigate the anticipated congestion problems around year 2025.

## ***Concept Plan Drawings***

Enclosed are several of the design drawings showing the future improvement plans for Wilco Rd.

Near Term Improvements: 3-Lane Improvements w/ curbs, gutters, sidewalks, bike lanes & storm drainage improvements. Modify major intersection alignments and right-of-way width

Figure 1 - Overall Site Plan

Figure 2 - Shaff/Wilco/Golf Intersection (3-lanes)

Figure 5 – Wilco/Ida/Washington Intersection

Long Term Improvements: 3-Lane Improvements w/ full improvements plus 5-lane signaled intersection at Shaff/Wilco/Golf Club Road intersection.

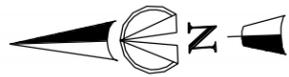
Figure 10 – Shaff/Wilco/Golf Club Rd. intersection (5-lanes)

## ***Next Steps***

Marion County: Marion County Public Works will send the City of Stayton a letter approving the conceptual plan for Wilco Rd. improvements.

City of Stayton: The City's Public Works Design Standards will be modified to adopt the conceptual plan in the street standards section. The City will require new development on Wilco Rd. to comply with the conceptual plan improvement requirements. Adoption of the amendment of the standards is an administrative decision by the Public Works Director.

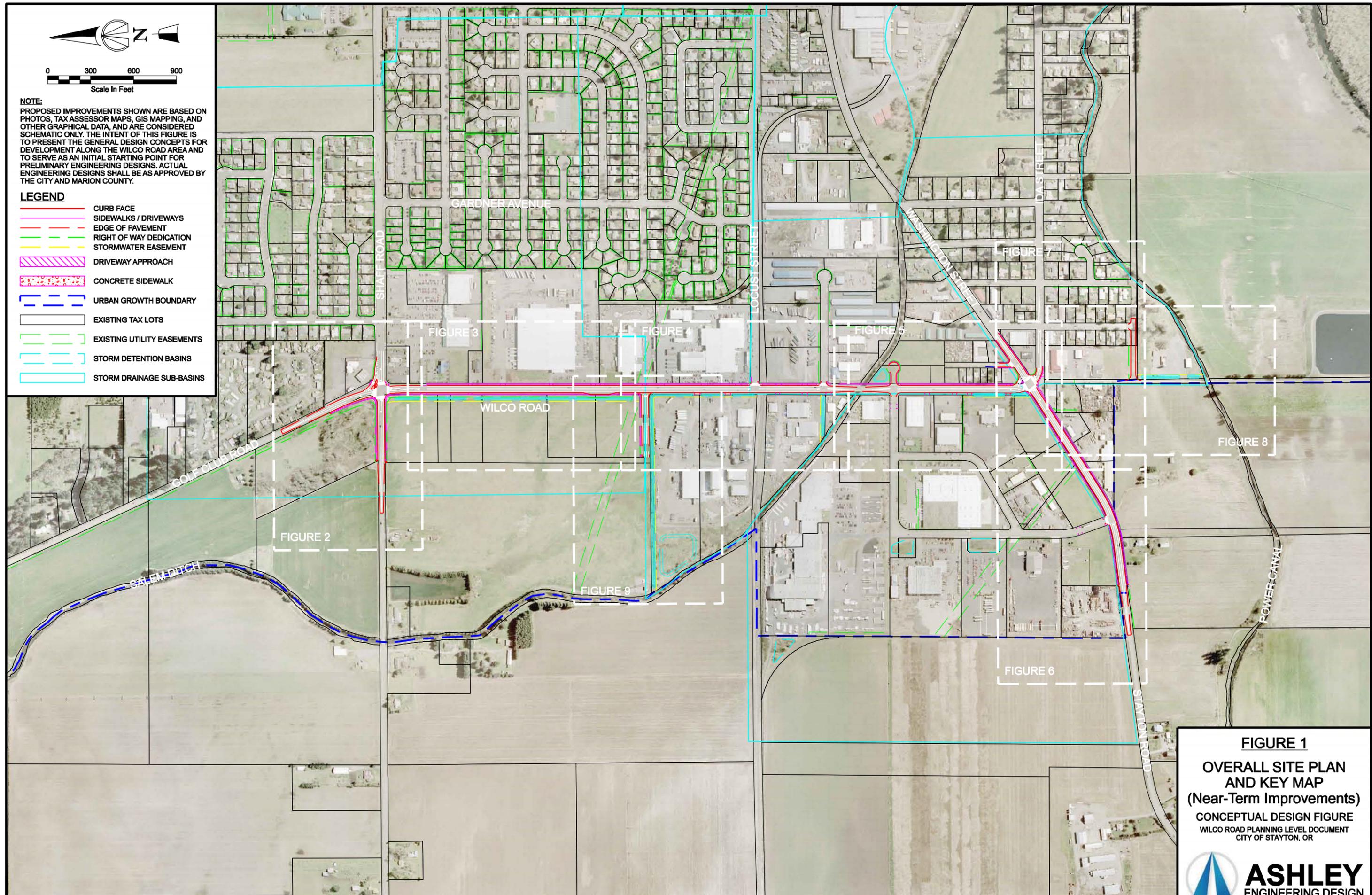
## ***Questions / Discussion***



0 300 600 900  
Scale In Feet

NOTE:  
PROPOSED IMPROVEMENTS SHOWN ARE BASED ON PHOTOS, TAX ASSESSOR MAPS, GIS MAPPING, AND OTHER GRAPHICAL DATA, AND ARE CONSIDERED SCHEMATIC ONLY. THE INTENT OF THIS FIGURE IS TO PRESENT THE GENERAL DESIGN CONCEPTS FOR DEVELOPMENT ALONG THE WILCO ROAD AREA AND TO SERVE AS AN INITIAL STARTING POINT FOR PRELIMINARY ENGINEERING DESIGNS. ACTUAL ENGINEERING DESIGNS SHALL BE AS APPROVED BY THE CITY AND MARION COUNTY.

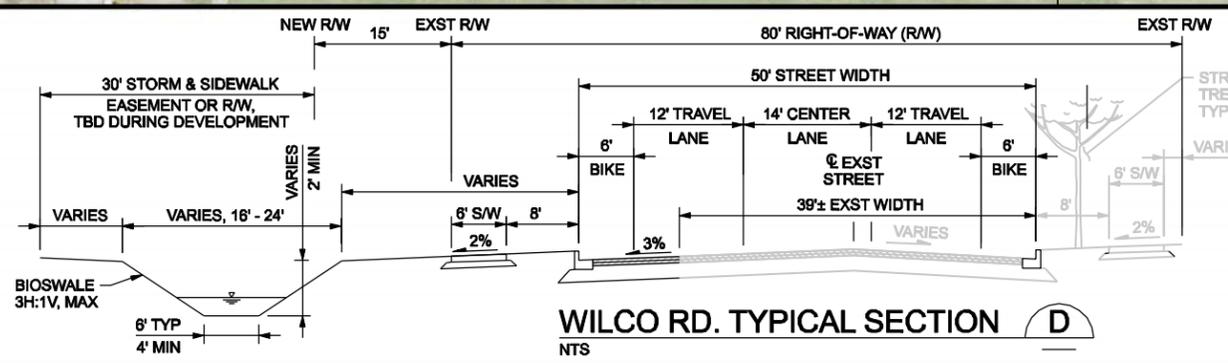
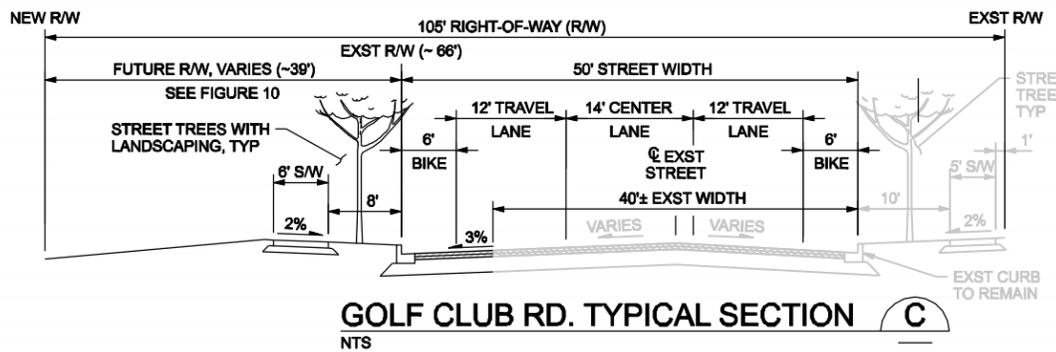
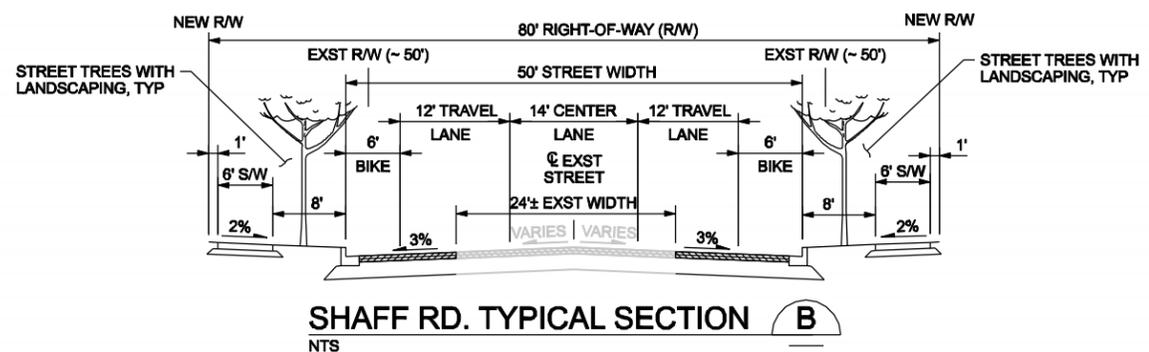
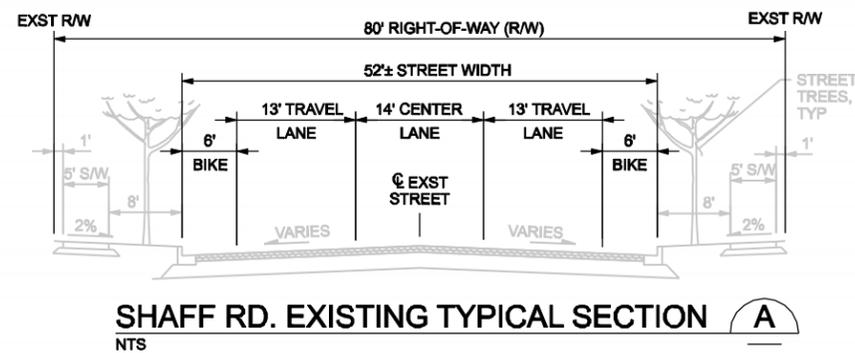
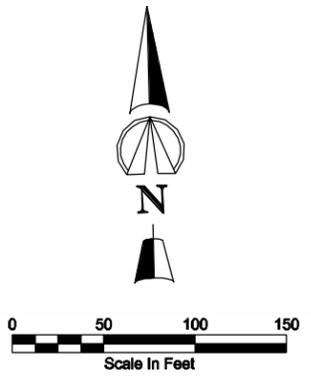
- LEGEND**
-  CURB FACE
  -  SIDEWALKS / DRIVEWAYS
  -  EDGE OF PAVEMENT
  -  RIGHT OF WAY DEDICATION
  -  STORMWATER EASEMENT
  -  DRIVEWAY APPROACH
  -  CONCRETE SIDEWALK
  -  URBAN GROWTH BOUNDARY
  -  EXISTING TAX LOTS
  -  EXISTING UTILITY EASEMENTS
  -  STORM DETENTION BASINS
  -  STORM DRAINAGE SUB-BASINS



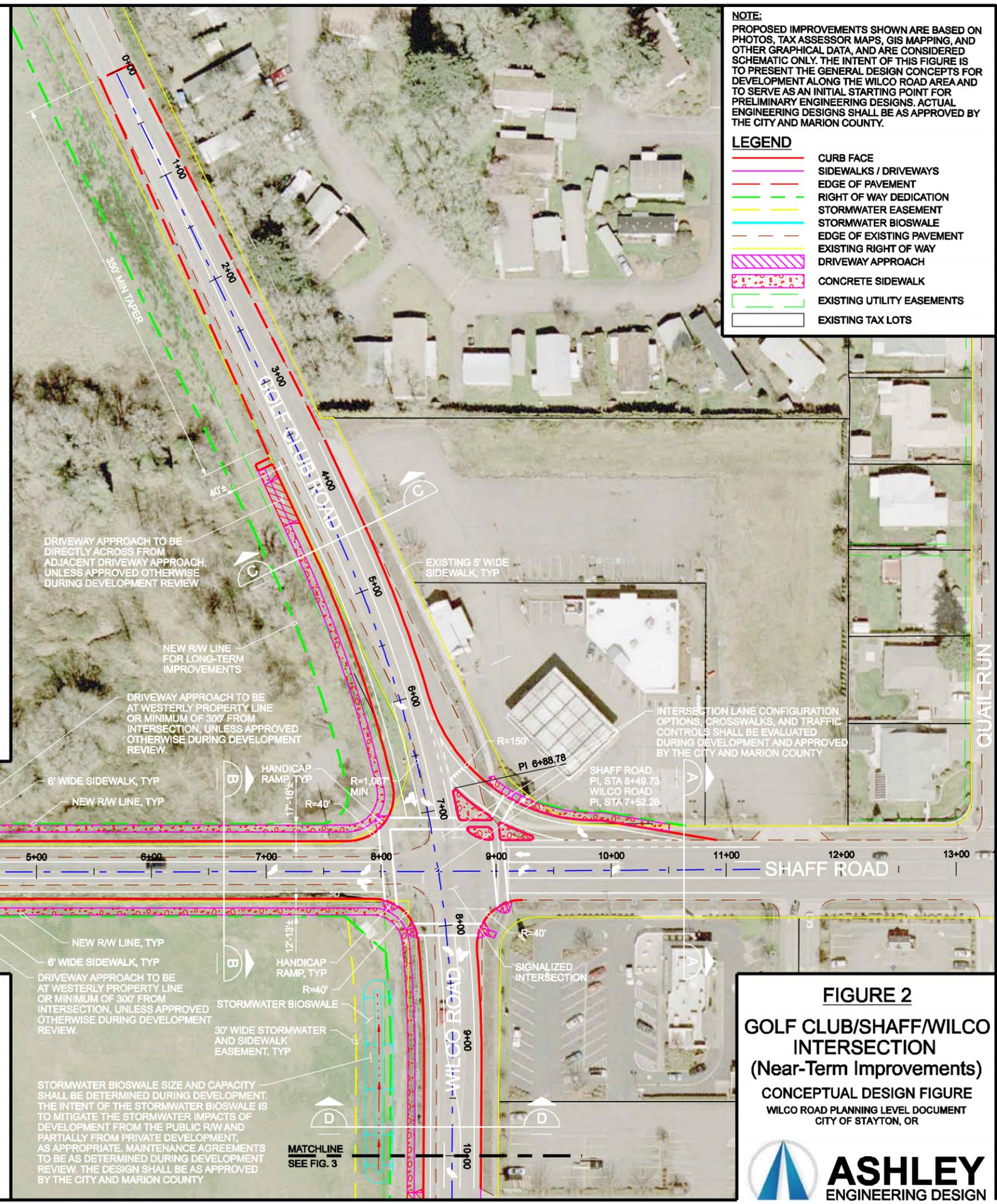
**FIGURE 1**  
**OVERALL SITE PLAN**  
**AND KEY MAP**  
 (Near-Term Improvements)  
 CONCEPTUAL DESIGN FIGURE  
 WILCO ROAD PLANNING LEVEL DOCUMENT  
 CITY OF STAYTON, OR



PRELIMINARY



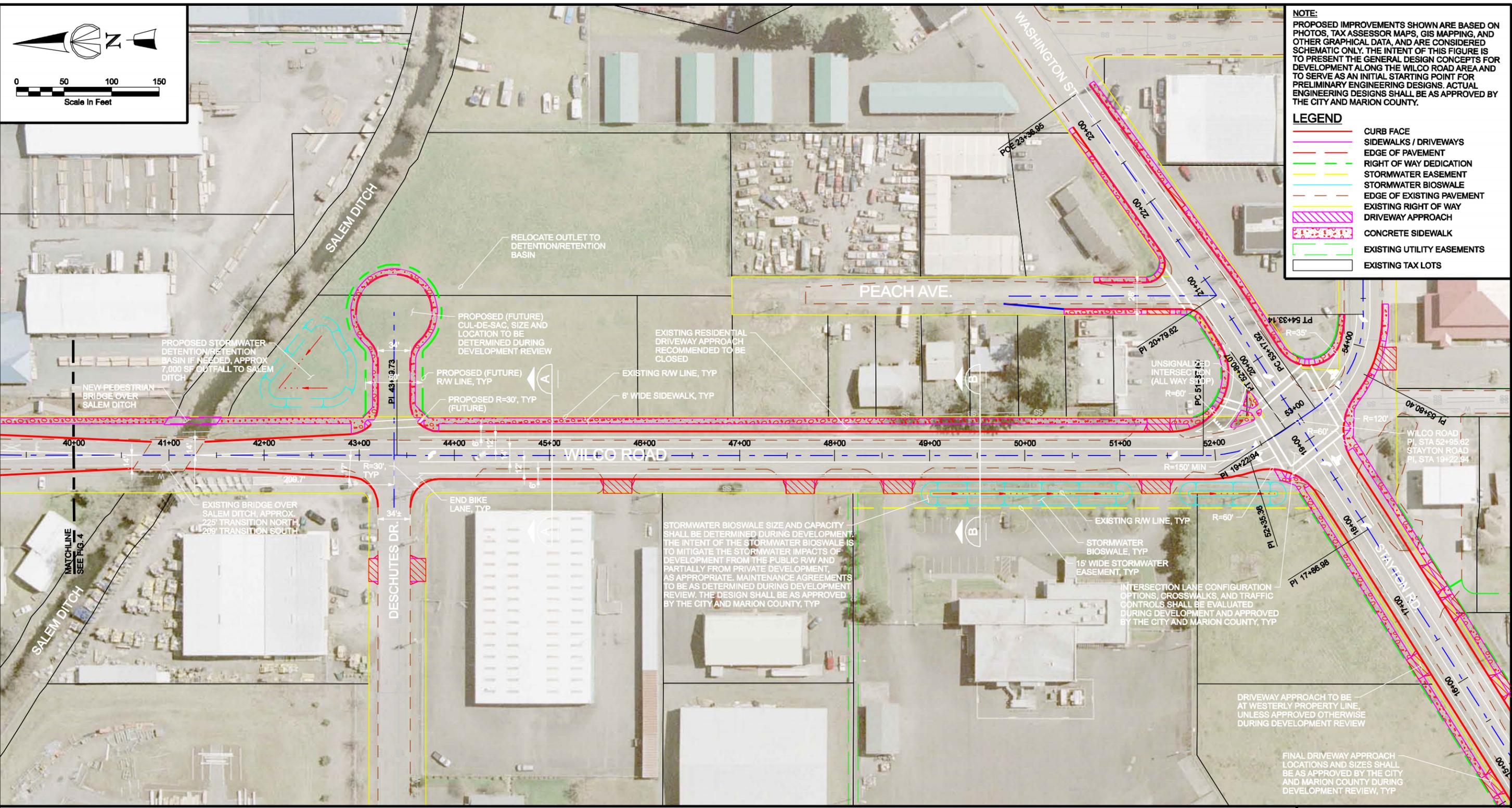
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- LEGEND**
- CURB FACE
  - SIDEWALKS / DRIVEWAYS
  - EDGE OF PAVEMENT
  - RIGHT OF WAY DEDICATION
  - STORMWATER EASEMENT
  - STORMWATER BIOSWALE
  - EDGE OF EXISTING PAVEMENT
  - EXISTING RIGHT OF WAY
  - DRIVEWAY APPROACH
  - CONCRETE SIDEWALK
  - EXISTING UTILITY EASEMENTS
  - EXISTING TAX LOTS



**FIGURE 2**  
**GOLF CLUB/SHAFF/WILCO INTERSECTION**  
**(Near-Term Improvements)**  
CONCEPTUAL DESIGN FIGURE  
WILCO ROAD PLANNING LEVEL DOCUMENT  
CITY OF STAYTON, OR



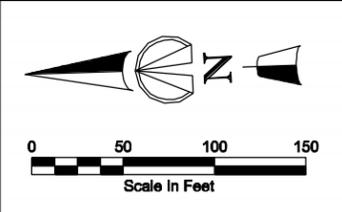
PRELIMINARY



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**LEGEND**

- CURB FACE
- SIDEWALKS / DRIVEWAYS
- - - EDGE OF PAVEMENT
- - - RIGHT OF WAY DEDICATION
- - - STORMWATER EASEMENT
- - - STORMWATER BIOSWALE
- - - EDGE OF EXISTING PAVEMENT
- - - EXISTING RIGHT OF WAY
- ▨ DRIVEWAY APPROACH
- ▨ CONCRETE SIDEWALK
- ▨ EXISTING UTILITY EASEMENTS
- ▨ EXISTING TAX LOTS



PROPOSED STORMWATER DETENTION/RETENTION BASIN IF NEEDED, APPROX 7,000 SF OUTFALL TO SALEM DITCH

EXISTING BRIDGE OVER SALEM DITCH, APPROX. 225' TRANSITION NORTH, 209' TRANSITION SOUTH

PROPOSED (FUTURE) CUL-DE-SAC, SIZE AND LOCATION TO BE DETERMINED DURING DEVELOPMENT REVIEW

PROPOSED (FUTURE) R/W LINE, TYP

PROPOSED R=30', TYP (FUTURE)

EXISTING RESIDENTIAL DRIVEWAY APPROACH RECOMMENDED TO BE CLOSED

EXISTING R/W LINE, TYP

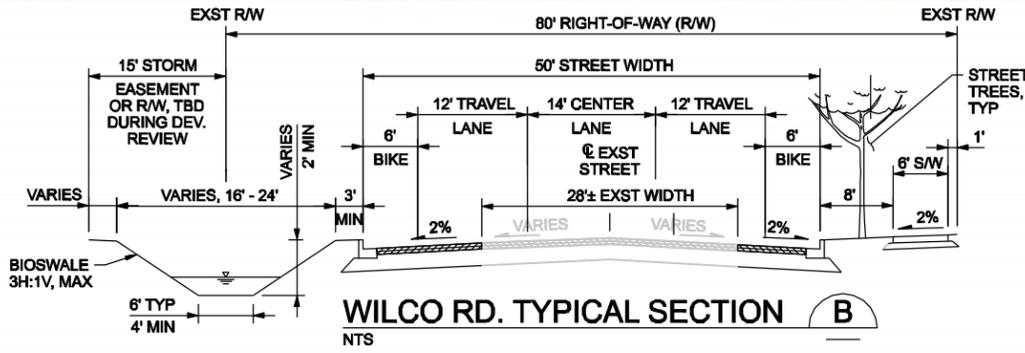
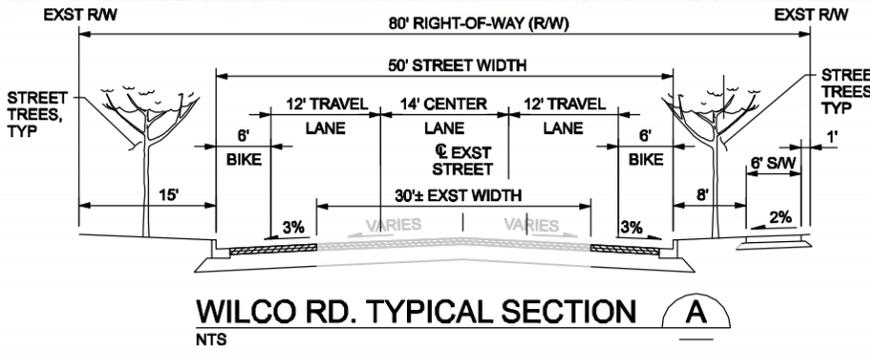
6' WIDE SIDEWALK, TYP

STORMWATER BIOSWALE SIZE AND CAPACITY SHALL BE DETERMINED DURING DEVELOPMENT. THE INTENT OF THE STORMWATER BIOSWALE IS TO MITIGATE THE STORMWATER IMPACTS OF DEVELOPMENT FROM THE PUBLIC R/W AND PARTIALLY FROM PRIVATE DEVELOPMENT, AS APPROPRIATE. MAINTENANCE AGREEMENTS TO BE AS DETERMINED DURING DEVELOPMENT REVIEW. THE DESIGN SHALL BE AS APPROVED BY THE CITY AND MARION COUNTY, TYP

INTERSECTION LANE CONFIGURATION OPTIONS, CROSSWALKS, AND TRAFFIC CONTROLS SHALL BE EVALUATED DURING DEVELOPMENT AND APPROVED BY THE CITY AND MARION COUNTY, TYP

DRIVEWAY APPROACH TO BE AT WESTERLY PROPERTY LINE, UNLESS APPROVED OTHERWISE DURING DEVELOPMENT REVIEW

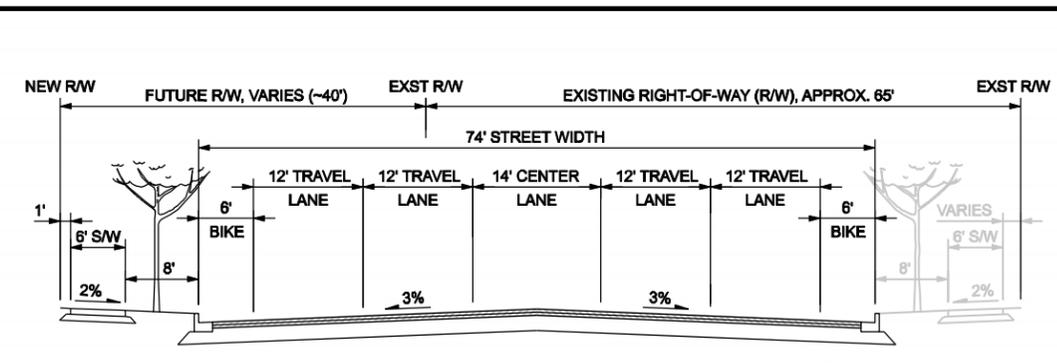
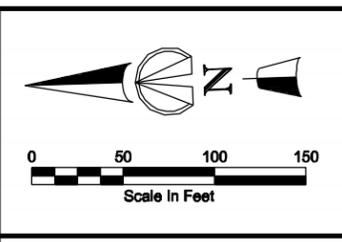
FINAL DRIVEWAY APPROACH LOCATIONS AND SIZES SHALL BE AS APPROVED BY THE CITY AND MARION COUNTY DURING DEVELOPMENT REVIEW, TYP



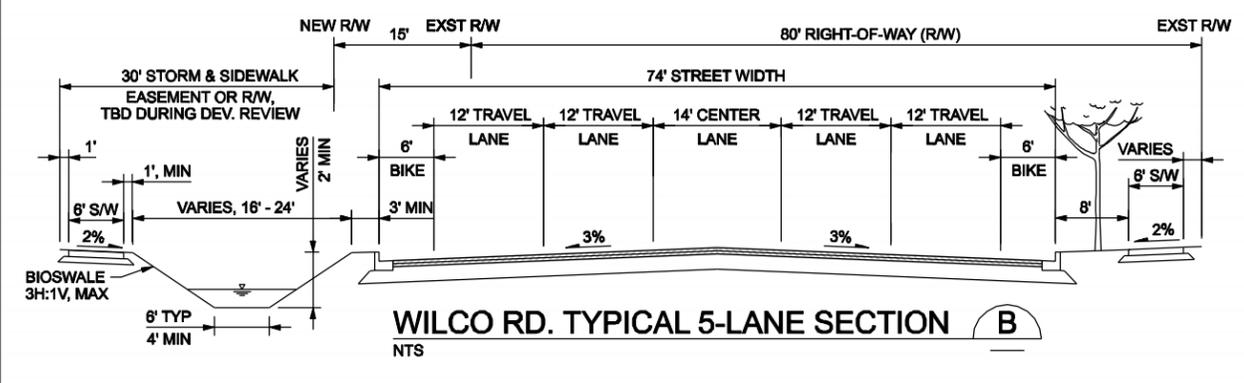
**FIGURE 5**  
**WILCO ROAD**  
**(STA 40+00 TO END)**  
**(Near-Term Improvements)**  
 CONCEPTUAL DESIGN FIGURE  
 WILCO ROAD PLANNING LEVEL DOCUMENT  
 CITY OF STAYTON, OR



PRELIMINARY

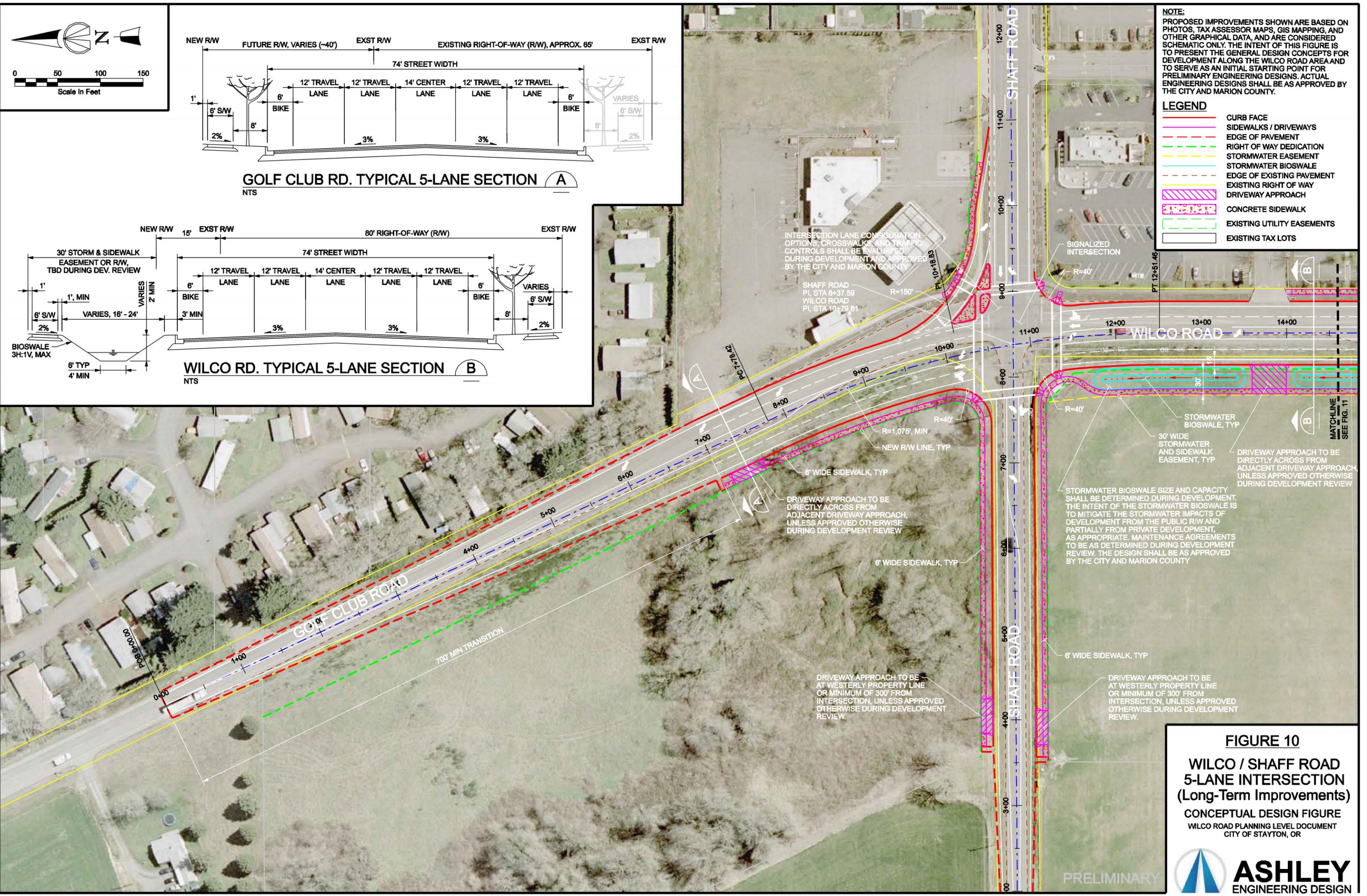


**GOLF CLUB RD. TYPICAL 5-LANE SECTION A**  
NTS



**WILCO RD. TYPICAL 5-LANE SECTION B**  
NTS

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  - - - STORMWATER BIOSWALE
  - - - EDGE OF EXISTING PAVEMENT
  - - - EXISTING RIGHT OF WAY
  - DRIVEWAY APPROACH
  - CONCRETE SIDEWALK
  - EXISTING UTILITY EASEMENTS
  - EXISTING TAX LOTS



**FIGURE 10**  
**WILCO / SHAFF ROAD**  
**5-LANE INTERSECTION**  
**(Long-Term Improvements)**  
CONCEPTUAL DESIGN FIGURE  
WILCO ROAD PLANNING LEVEL DOCUMENT  
CITY OF STAYTON, OR



PRELIMINARY

PRELIMINARY



# City of Stayton

## *Planning and Development Department*

Mailing address: 362 N. Third Avenue · Stayton, OR 97383

Office location: 311 N. Third Avenue

Phone: (503) 769-2998 · FAX: (503) 767-2134

email: [dfleishman@ci.stayton.or.us](mailto:dfleishman@ci.stayton.or.us)

[www.staytonoregon.gov](http://www.staytonoregon.gov)

## MEMORANDUM

**TO:** Mayor Scott Vigil and City Council Members  
**FROM:** Dan Fleishman, Planning and Development Director  
**DATE:** April 21, 2014  
**SUBJECT:** Report of Activities for March, 2014

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### **Enforcement Activity Highlights**

Letter sent regarding accumulation of rubbish

Worked with Sylvan Springs Homeowners Association to address code violations – 5 letters sent regarding unregistered vehicles or vehicles parked front yard not on driveway

### **Planning & Development Activity Summary**

Planning Commission meeting

Reviewed 2 building permit applications

Working with Public Works Department staff, improvements to the Geographic Information System continued



## MEMORANDUM

**TO:** Mayor Scott Vigil and Stayton City Councilors

**FROM:** Mark Greenhalgh-Johnson

**DATE:** April 21, 2014

**SUBJECT:** Interim Library Director's Report, April

---

### Upcoming Events:

The library will host an author visit by Roland Smith on May 16<sup>th</sup> from 6:30 – 7:30 PM. Roland Smith is the author of young adult novels and nonfiction for children. His novel *Peak*, about a 14-year-old mountain climber, won the 2007 National Outdoor Book Award in the children's category. We will be giving a free book to every child attending. We have contacted several local schools about this event so we are expecting a great turn out and a fun evening.

May 20<sup>th</sup> is Election Day. The Stayton Public Library is an official Marion County ballot drop site. The ballots will be mailed Wednesday April 30<sup>th</sup> and the ballot boxes will be available for voting at that time. The ballot boxes will be located inside the library just past the circulation desk. Voters can cast their ballots during regular library hours. On Election Day, the ballot boxes will be available until 8:00 PM.

### Library hours:

Monday	10:00 – 5:30
Tuesday	10:00 – 5:30
Wednesday	12:00 – 8:30
Thursday	10:00 – 8:30
Friday	12:00 – 5:30
Saturday	10:00 – 4:00

## 2013 - 2014 Monthly Library Statistics

	July	August	Sept.	Oct.	Nov.	Dec.	Jan.	Feb.	March	April	May	June	2012-13	2013-14 YTD	% Change
<b>CHECKOUTS</b>	12,712	12,114	10,667	14,011	12,048	11,230	13,842	9,544	11,588				<b>107,319</b>	<b>107,756</b>	0%
<b>INCOME Received</b>															
Non-resident cards	\$917.00	\$1,760.00	\$342.00	\$720.00	\$582.00	\$1,148.00	\$500.00	\$605.00	\$586.00				<b>\$6,718.00</b>	<b>\$7,160.00</b>	7%
Fines: overdue books	\$888.54	\$2,337.97	\$909.43	\$857.00	\$834.00	\$2,301.66	\$1,084.00	\$489.30	\$2,319.03				<b>\$9,578.47</b>	<b>\$12,020.93</b>	25%
Room fees	\$177.00	\$108.00	\$1,027.00	\$348.00	\$0.00	\$1,285.00	\$0.00	\$0.00	\$140.00				<b>\$3,095.00</b>	<b>\$3,085.00</b>	0%
<b>Total</b>													<b>\$19,391.47</b>	<b>\$22,265.93</b>	15%
<b>REFERENCE QUESTIONS</b>															
Reference questions	645	585	476	619	589	552	600	571	921				<b>4,440</b>	<b>5,558</b>	25%
Telephone	356	393	374	384	276	305	393	522	358				<b>2,649</b>	<b>3,361</b>	27%
<b>Total</b>													<b>7,089</b>	<b>8,919</b>	26%
<b>INTERNET USE</b>															
	1,940	1,900	1,502	1,700	1,529	1,659	1,691	1,295	1,553				<b>14,804</b>	<b>14,769</b>	0%
<b>PROGRAM ATTENDANCE</b>															
Children/teens	517	379	174	365	335	174	591	360	430				<b>3,088</b>	<b>3,325</b>	8%
Adults	223	154	130	177	165	122	327	250	272				<b>1,489</b>	<b>1,820</b>	22%
Outreach	80	0	195	887	829	451	692	626	783				<b>4,472</b>	<b>4,543</b>	2%
<b>Total</b>													<b>9,049</b>	<b>9,688</b>	7%
<b>MEETING ROOM ATTENDANCE</b>															
	1,195	1,033	571	907	824	452	895	786	1,016				<b>6,763</b>	<b>7,679</b>	14%
<b>PATRON VISITS</b>															
	9,317	8,445	6,881	7,727	6,835	5,671	7,506	6,322	6,975				<b>69,037</b>	<b>65,679</b>	-5%