

# SANTIAM INDUSTRIAL CENTER

SITE PLAN REVIEW - 3/8/2024

930 W WASHINGTON ST  
STAYTON, OR 97383

**OWNER**

STAYTON WASHINGTON, LLC  
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RICHLAND, OHIO 44286  
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**GENERAL CONTRACTOR**

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TELEPHONE: (503) 624-2090  
EMAIL: FGREGG@PERLO.BIZ

**ARCHITECT**

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EMAIL: BVARRICCHIONE@MCKNZE.COM

**SITE INFORMATION**

TAX LOT: PORTION OF 091W10C02400, T9S,  
R1W, SEC10

**SURVEYOR**

EMERIO DESIGN, LLC  
6445 SW FALLBROOK PLACE, SUITE 100  
BEAVERTON, OR 97008  
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**LANDSCAPE ARCHITECT**

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LANDSCAPE ARCHITECT: STEVEN TUTTLE  
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**BUILDING ADDRESS**

930 E WASHINGTON ST  
STAYTON, OR 97383

**GEOTECH**

COLUMBIA WEST  
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VANCOUVER, WA 98682  
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**CIVIL ENGINEER**

MACKENZIE  
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ENGINEER: BOB FRENTRESS  
EMAIL: BFRENTRESS@MCKNZE.COM



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Project  
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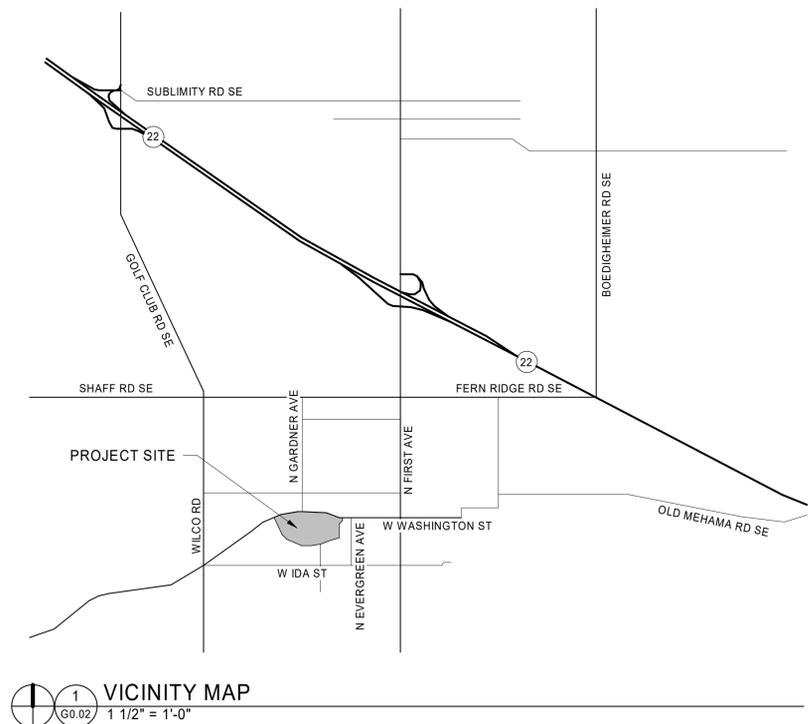
REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:  
**TITLE SHEET  
AND DRAWING  
INDEX**

SHEET

**G0.02**

JOB NO. **2220389.00**



VICINITY MAP  
1  
G0.02 1 1/2" = 1'-0"



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SHEET TITLE:  
**CIVIL GENERAL  
NOTES,  
SYMBOLS AND  
ABBREVIATIONS**

SHEET:

**C0.01**

JOB NO. **2220389.00**

## GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT AMERICAN PUBLIC WORKS ASSOCIATION STANDARDS FOR PUBLIC WORKS CONSTRUCTION
- THE SURVEY INFORMATION SHOWN AS A BACKGROUND SCREEN IS BASED ON A SURVEY BY OTHERS AND IS SHOWN FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS WITH ITS OWN RESOURCES PRIOR TO START OF ANY CONSTRUCTION
- CONTRACTOR MUST COMPLY WITH LOCAL AND STATE REQUIREMENTS TO NOTIFY ALL UTILITY COMPANIES FOR LINE LOCATIONS SEVENTY-TWO (72) HOURS (MINIMUM) PRIOR TO START OF WORK. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- CONTRACTOR SHALL ADJUST ALL STRUCTURES IMPACTED BY CONSTRUCTION IMPROVEMENTS TO NEW FINISH GRADES
- REQUEST BY THE CONTRACTOR FOR CHANGES TO THE PLANS MUST BE APPROVED BY THE ENGINEER.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A PUBLIC WORKS PERMIT
- CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH AS-BUILT PLANS AT LEAST 2 WEEKS PRIOR TO REQUESTING AGENCY SIGN OFF ON PERMITS FOR OCCUPANCY
- CONTRACTOR SHALL PERFORM ALL THE WORK SHOWN ON THE DRAWINGS AND ALL INCIDENTAL WORK NECESSARY TO COMPLETE THE PROJECT

## SITE DEMOLITION NOTES

- COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC
- INSTALL EROSION CONTROL MEASURES AND TEMPORARY FENCING PRIOR TO ANY DEMOLITION ACTIVITIES
- MITIGATE DUST POLLUTION DUE TO DEMOLITION ACTIVITIES
- PROTECT ALL EXISTING STRUCTURES, UTILITIES, LANDSCAPE AND OTHER ELEMENTS THAT ARE NOT DESIGNATED FOR REMOVAL. ANY DAMAGE TO EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE
- DO NOT BEGIN REMOVAL UNTIL ITEMS TO BE SALVAGED OR RELOCATED HAVE BEEN REMOVED AS NOTED. IF REMOVED GRAVEL OR PAVEMENT MATERIALS ARE TO BE RECYCLED OR REUSED, PREVENT CONTAMINATION OF THESE MATERIALS FROM TOPSOIL OR OTHER DELETERIOUS MATERIAL
- CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH AFFECTED UTILITY COMPANIES, OBTAIN ALL REQUIRED PERMITS, NOTIFY THEM PRIOR TO STARTING WORK, AND COMPLY WITH THEIR REQUIREMENTS. ADDITIONAL REMOVALS MAY BE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CONTRACTOR SHALL CONFIRM ACCORDINGLY PRIOR TO BID. ACCURATELY RECORD ACTUAL LOCATIONS OF CAPPED AND ACTIVE UTILITIES FOR AS-BUILT PURPOSES AND SUPPLY TO OWNER AND ARCHITECT/ENGINEER OF RECORD
- DEMOLISH AND REMOVE ALL NON-BUILDING SITE STRUCTURES AND ASSOCIATED FEATURES (APPURTENANCES) AS SHOWN. WITHIN AREA OF NEW CONSTRUCTION, REMOVE DESIGNATED WALLS AND FOOTINGS TO 2 FEET MINIMUM BELOW FINISHED GRADE. DEMOLISH ALL PAVED AREAS DESIGNATED FOR REMOVAL DOWN TO NATIVE SUBGRADE
- ALL VEGETATION AND DELETERIOUS MATERIALS WITHIN THE LIMITS OF WORK SHALL BE STRIPPED AND REMOVED FROM THE SITE PRIOR TO GRADING WORK UNLESS NOTED OTHERWISE (E.G. PROTECTED TREES)
- IF HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, STOP WORK AND IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT/ENGINEER OF RECORD

## GRADING NOTES

- ROUGH GRADING:** ROUGH GRADE TO ALLOW FOR DEPTH OF BUILDING SLABS, PAVEMENTS, BASE COURSES, AND TOPSOIL PER DETAILS AND SPECIFICATIONS
- FINISH GRADING:** BRING ALL FINISH GRADES TO LEVELS INDICATED. WHERE GRADES ARE NOT OTHERWISE INDICATED, HARDSCAPE FINISH GRADES ARE TO BE THE SAME AS ADJACENT SIDEWALKS, CURBS, OR THE OBVIOUS GRADE OF ADJACENT STRUCTURE. SOFTSCAPE GRADES (INCLUDING ADDITIONAL DEPTH OF TOPSOIL) SHALL BE SET 6 INCHES BELOW BUILDING FINISHED FLOORS WHERE ABUTTING BUILDINGS, 1-2 INCHES WHERE ABUTTING WALKWAYS OR CURBS, OR MATCHING OTHER SOFTSCAPE GRADES. GRADE TO UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE GRADES ARE GIVEN. ROUND OFF SURFACES, AVOID ABRUPT CHANGES IN LEVELS. AT COMPLETION OF JOB AND AFTER BACKFILLING BY OTHER TRADES HAS BEEN COMPLETED, REFILL AND COMPACT AREAS WHICH HAVE SETTLED OR ERODED TO BRING TO FINAL GRADES
- EXCAVATION:** EXCAVATE FOR SLABS, PAVING, AND OTHER IMPROVEMENTS TO SIZES AND LEVELS SHOWN OR REQUIRED. ALLOW FOR FORM CLEARANCE AND FOR PROPER COMPACTION OF REQUIRED BACKFILLING MATERIAL. DAMAGE TO UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- EFFECTIVE EROSION PREVENTION AND SEDIMENT CONTROL IS REQUIRED. EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED MEETING THE LOCAL AGENCY AND STATE AGENCY REQUIREMENTS. THE AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE EROSION CONTROL
- DRAINAGE SHALL BE CONTROLLED WITHIN THE WORK SITE AND SHALL BE ROUTED SO THAT ADJACENT PRIVATE PROPERTY, PUBLIC PROPERTY, AND THE RECEIVING SYSTEM ARE NOT ADVERSELY IMPACTED. THE ENGINEER AND/OR AUTHORITIES HAVING JURISDICTION MAY, AT ANY TIME, ORDER CORRECTIVE ACTION AND STOPPAGE OF WORK TO ACCOMPLISH EFFECTIVE DRAINAGE CONTROL
- SITE TOPSOIL STOCKPILED DURING CONSTRUCTION AND USED FOR LANDSCAPING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT
- CONTRACTOR TO REVIEW AND CONFIRM GRADES AT JOIN POINTS, SUCH AS AT DAYLIGHT LIMITS AND BUILDING ENTRANCES, PRIOR TO CONSTRUCTION
- ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL BE CONSTRUCTED AT 2% MAXIMUM SLOPE IN ALL DIRECTIONS
- PEDESTRIAN SIDEWALK CONNECTIONS BETWEEN PUBLIC R.O.W. AND BUILDING ENTRANCES SHALL BE CONSTRUCTED AT AND 2% MAXIMUM CROSS SLOPE AND 5% MAXIMUM LONGITUDINAL SLOPE (8.33% FOR DESIGNATED RAMPS)

## UTILITY NOTES

- ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF THE STATE PLUMBING AND BUILDING CODES WITH LOCAL AMENDMENTS AS APPLICABLE ALONG WITH ANY ADDITIONAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
- THE WORKING DRAWINGS ARE GENERALLY DIAGRAMMATIC. THEY DO NOT SHOW EVERY OFFSET, BEND OR ELBOW REQUIRED FOR INSTALLATION IN THE SPACE PROVIDED. THEY DO NOT SHOW EVERY DIMENSION, COMPONENT PIECE, SECTION, JOINT OR FITTING REQUIRED TO COMPLETE THE PROJECT. ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION. EXISTING UNDERGROUND UTILITIES WITHIN THE LIMITS OF EXCAVATION SHALL BE VERIFIED AS TO CONDITION, SIZE AND LOCATION BY UNCOVERING (POTHOLING), PROVIDING SUCH IS PERMITTED BY THE AUTHORITIES HAVING JURISDICTION, BEFORE BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER IF THERE ARE ANY DISCREPANCIES.
- NOT ALL REQUIRED CLEANOUTS ARE SHOWN ON THE PLANS. PROVIDE CLEANOUTS PER DETAIL REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE PLUMBING CODE (E.G. UNIFORM PLUMBING CODE CHAPTER 7, SECTIONS 707 AND 719, AND CHAPTER 11, SECTION 1101.13).
- ALL SANITARY AND STORM PIPING IS DESIGNED USING CONCENTRIC PIPE TO PIPE AND WYE FITTINGS, UNLESS OTHERWISE NOTED
- ALL DOWNSPOUT LEADERS TO BE 6 INCHES AT 2.0% MINIMUM UNLESS NOTED OTHERWISE
- IF APPLICABLE, PROVIDE 2 INCH PVC DRAIN LINE FROM DOMESTIC WATER METER VAULT AND BACKFLOW PREVENTER VAULT TO THE DOUBLE DETECTOR CHECK VALVE (FIRE) VAULT. PROVIDE 1/3 HP SUMP PUMP AT BASE OF FIRE VAULT AND INSTALL 2 INCH PVC DRAIN LINE WITH BACKFLOW VALVE FROM SUMP PUMP TO DAYLIGHT AT NEAREST CURB. FURNISH 3/4 INCH DIAMETER CONDUIT FROM BUILDING ELECTRICAL ROOM TO FIRE VAULT FOR SUMP PUMP ELECTRICAL SERVICE. NOTE: COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR FLOW SENSOR INSTALLATION AND CONDUIT REQUIREMENTS
- PREFABRICATED PLUMBING PRODUCTS USED SHALL BE LISTED ON THE IAPMO R&T PRODUCT LISTING DIRECTORY (pld.iapmo.org). ALL SUBMITTALS FOR REVIEW SHALL BE ACCOMPANIED BY MANUFACTURER'S LITERATURE CLEARLY STATING THIS CERTIFICATION AND/OR THE PRODUCT LISTING CERTIFICATE FROM THE IAPMO DIRECTORY WEBSITE
- IF APPLICABLE, CONTRACTOR TO PROVIDE POWER TO IRRIGATION CONTROLLER. SEE LANDSCAPE PLANS AND SPECIFICATIONS
- SEE BUILDING PLUMBING DRAWINGS FOR PIPING WITHIN THE BUILDING AND UP TO 5 FEET OUTSIDE THE BUILDING, INCLUDING ANY FOUNDATION DRAINAGE PIPING
- CONTRACTOR TO MAINTAIN MINIMUM 3 FEET OF COVER OVER ALL UTILITY PIPING AND CONDUITS, UNLESS NOTED OTHERWISE
- WHERE CONNECTING TO AN EXISTING PIPE, AND PRIOR TO ORDERING MATERIALS, THE CONTRACTOR SHALL EXPOSE THE EXISTING PIPE TO VERIFY THE LOCATION, SIZE, AND ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES
- CONTRACTOR SHALL SCOPE ALL PRIVATE ONSITE GRAVITY SYSTEM LINES THAT ARE BEING CONNECTED TO FOR PROPOSED SERVICE. SCOPING SHALL OCCUR A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION AND THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES WITH AS-BUILT RECORDS/SURVEY FINDINGS OR IF THE EXISTING UTILITIES ARE DAMAGED OR SHOW SIGNS OF SIGNIFICANT DETERIORATION. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH VIDEO RECORDS, ALONG WITH A SKETCH IF THE LOCATIONS DIFFER FROM AS-BUILT PLANS OR SURVEY FINDINGS
- PRODUCT MATERIAL SUBMITTALS FOR REVIEW BY THE ENGINEER SHALL BE ACCOMPANIED BY A MANUFACTURER'S CERTIFICATION THAT THE PRODUCT IS CAPABLE OF MEETING PERFORMANCE EXPECTATIONS (I.E. - WATERTIGHT, MINIMUM/MAXIMUM BURIAL, PREVENTION OF GROUNDWATER INTRUSION, ETC.) BASED ON THEIR REVIEW OF THE PROJECT PLANS. IN THE ABSENCE OF A MANUFACTURER'S CERTIFICATION, THE GENERAL CONTRACTOR'S REVIEW STAMP SHALL CONSTITUTE THAT THEY HAVE PERFORMED THE NECESSARY REVIEW TO CERTIFY THE PRODUCT'S CONFORMANCE TO PROJECT SPECIFICATIONS AND GENERAL EXPECTATIONS
- PIPE LENGTHS SHOWN ON PLANS ARE TWO DIMENSIONAL AND MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE
- MANHOLE RIM ELEVATIONS SHOWN ON PLANS REFERENCE THE CENTER OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONCILING LIDS/GRATES/ETC TO THE SLOPES OF THE SITE GRADING
- MANHOLE OR VAULT RIM ELEVATIONS SHALL BE SET FLUSH IN PAVEMENT AREAS AND 3-4 INCHES ABOVE GRADE IN LANDSCAPE AREAS. RIMS IN PAVEMENT AREAS SHALL BE H-20 TRAFFIC RATED

## SITE WORK NOTES

- ALL CURB RADII TO BE 3 FEET UNLESS NOTED OTHERWISE
- STAIR RISERS AND TREADS SHALL BE CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1011.5)
- WHEREVER A PEDESTRIAN WALKING PATH IS WITHIN 36 INCHES OF A VERTICAL DROP OF 30 INCHES OR GREATER, GUARDRAIL SHALL BE INSTALLED CONFORMANT WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE CURRENT EDITION OF THE STATE BUILDING CODE (E.G. INTERNATIONAL BUILDING CODE, CHAPTER 10, SECTION 1015)

## EROSION CONTROL NOTES

- HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE LOCAL AGENCY INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS
- EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE BEFORE ANY LAND IS DISTURBED AND MUST REMAIN IN PLACE AND BE MAINTAINED, REPAIRED, AND PROMPTLY IMPLEMENTED FOLLOWING PROCEDURES ESTABLISHED FOR THE DURATION OF CONSTRUCTION, INCLUDING APPROPRIATE NON-STORMWATER POLLUTION CONTROLS
- THE EROSION CONTROL DRAWING IS FOR GENERAL GUIDANCE ONLY. THE CONTRACTOR SHALL KEEP THE PLAN CURRENT FOR ALL PHASES OF CONSTRUCTION AND MEET EROSION/SEDIMENT CONTROL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION (AHJ). ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE REQUIREMENTS OF THE AHJ, THE PLANS, AND THE PROJECT SPECIFICATIONS
- CONSTRUCT EROSION CONTROL IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS
- METHOD OF INSTALLATION FOR SEDIMENT FENCE SHALL NOT CAUSE DAMAGE TO VEGETATED SLOPE EXCEPT AT POINT OF INSTALLATION. SIDECAST MATERIAL SHALL BE KEPT TO A MINIMUM AND SHALL BE TO THE UPHILL SIDE OF THE SEDIMENT FENCE. THE FENCE SHALL BE INSTALLED AT LEAST 4 FEET FROM ADJACENT TREES
- ALL EROSION CONTROL DEVICES SHALL BE EXAMINED AND REPAIRED AFTER EACH STORM OCCURRENCE, AND INLETS SHALL BE CLEANED OF SEDIMENT WHENEVER NECESSARY
- HYDROSEED AND MULCH ALL DISTURBED AREAS UPON COMPLETION OF CONSTRUCTION OR AS DIRECTED BY THE AUTHORITIES HAVING JURISDICTION
- THE CONTRACTOR SHALL LIMIT CONSTRUCTION TRAFFIC TO PAVED AREAS TO PREVENT AND MINIMIZE SEDIMENT TRACKING OFF-SITE. CONTRACTOR SHALL SWEEP OR VACUUM PAVED AREAS IF SEDIMENT ACCUMULATION OCCURS. DO NOT TRACK SEDIMENT TO THE PUBLIC STREET OR NEIGHBORING PROPERTIES
- INSTALL TEMPORARY EROSION PREVENTION SUCH AS JUTE NETTING OR GEOTEXTILE ON DISTURBED AREAS STEEPER THAN 4H:1V
- STAGING AND STOCKPILE AREAS TO BE DETERMINED BY CONTRACTOR AND ADJUSTED TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION

## ABBREVIATIONS

CL	CENTER LINE
PL	PROPERTY LINE
AC	ASPHALT CONCRETE
AHJ	AUTHORITY HAVING JURISDICTION
AWWA	AMERICAN WATER WORKS ASSOCIATION
BC	BOTTOM OF CURB
BCR	BEGIN CURB RETURN
BFV	BUTTERFLY VALVE
BMP	BEST MANAGEMENT PRACTICE
BS	BOTTOM OF STEP
BW	BACK OF WALK
C	COMPACT
CB	CATCH BASIN
CI	CAST IRON
CIP	CAST IN PLACE
CO	CLEANOUT
CONC	CONCRETE
CLR	CLEAR
CVR	COVER
DI	DUCTILE IRON
DW	DOMESTIC WATER
ECR	END CURB RETURN
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESC	EROSION/SEDIMENT CONTROL
EW	EACH WAY
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FI	FIELD INLET
FL	FLOWLINE
FW	FIRE WATER/FACE OF WALL
G/GUT	GUTTER LINE
GB	GRADE BREAK
H	ACCESSIBLE STALL
HDPE	HIGH-DENSITY POLYETHYLENE
HMA	HOT MIX ASPHALT
IE	INVERT ELEVATION
LT	LEFT
ME	MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NTS	NOT TO SCALE
OC	ON CENTER
ODOT	OREGON DEPARTMENT OF TRANSPORTATION
OSHA	OREGON STATE HEALTH AUTHORITY
OSSC	OREGON STATE SPECIFICATIONS FOR CONSTRUCTION
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PCCP	PORTLAND CEMENT CONCRETE PAVING
PR	PROPOSED
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
RD	ROOF DRAIN
ROW	RIGHT OF WAY
RSGV	RESILIENT SEAT GATE VALVE
RT	RIGHT
S	STANDARD
SAN	SANITARY SEWER
STA	STATION
STM	STORM
SW	SIDEWALK
TC	TOP OF CURB
TH	THRESHOLD
TS	TOP OF STEP
TW	TOP OF WALL
TYP	TYPICAL
WC	WHEELCHAIR

## LEGEND

	EXISTING	PROPOSED
RIGHT-OF-WAY LINE		
BOUNDARY LINE		
CENTERLINE		
PROPERTY LINE		
CURB		
EDGE OF PAVEMENT		
EASEMENT		
FENCE LINE		
GRAVEL EDGE		
OVERHEAD WIRE		
GAS LINE		
STORM SEWER LINE		
SANITARY SEWER LINE		
WATER LINE		
ELECTRICAL LINE		
TREE		
CONTROL MANHOLE		
FIRE HYDRANT		
BOLLARD		
WATER METER		
WATER VALVE		
BACKFLOW PREVENTOR		
WATER VAULT		
BORE HOLE		
STORM/SAN/UNKNOWN MANHOLE		
STORM SEWER CATCH BASIN		
SANITARY CLEAN OUT		
GAS VALVE		
SIGN		
FOUND SURVEY MONUMENT		
GUY WIRE ANCHOR		
UTILITY POLE		
POWER VAULT		
ELECTRICAL METER		
JUNCTION BOX		
LIGHT POLE		
TELEPHONE/TELEVISION RISER		
SIGNAL JUNCTION BOX		
GATE POST		
ADA COMPLIANT CURB RAMP		
SLOPE ARROW		
SLOPE ARROW		
DOCK DOOR		
DRIVE IN DOOR		
COMMUNICATION LINE		
COMMUNICATIONS VAULT		
ELECTRIC PEDESTAL		
5 FOOT CONTOUR INTERVAL		
1 FOOT CONTOUR INTERVAL		

## VERTICAL DATUM

VERTICAL DATUM FOR THIS SURVEY IS NGVD-29

VERTICAL CONTROL POINT BENCHMARK NO. QEO394 WAS HELD FOR ELEVATION MONUMENT LOCATED AT THE 2.2 MILES EAST OF STAYTON, ALONG THE NORTH SANTIAM HIGHWAY, 40 FT SOUTH OF CENTER OF CURVE IN HIGHWAY, 10 FT WEST OF ENTRANCE TO PRIVATE ROAD  
ELEV = 497.228' (NGVD-29)

## HORIZONTAL DATUM

HORIZONTAL DATUM FOR THIS SURVEY IS STATE PLANE COORDINATES OREGON NORTH ZONE (3601)

## PAVING LEGEND

PAVING SECTIONS PER "REPORT OF GEOTECHNICAL ENGINEERING SERVICES, SANTIAM INDUSTRIAL PARK", BY COLUMBIA WEST ENGINEERING, INC. DATED DECEMBER 8, 2023.

EXISTING	PROPOSED	
		AC CAR PARKING 2.5" AC OVER 8" AGGREGATE BASE
		TRUCK AREAS 5.0" AC OVER 17" AGGREGATE BASE
		CONCRETE DOCK APRONS 6.5" PCC OVER 6.0" ROCK BASE



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EXPIRES: 12/31/25

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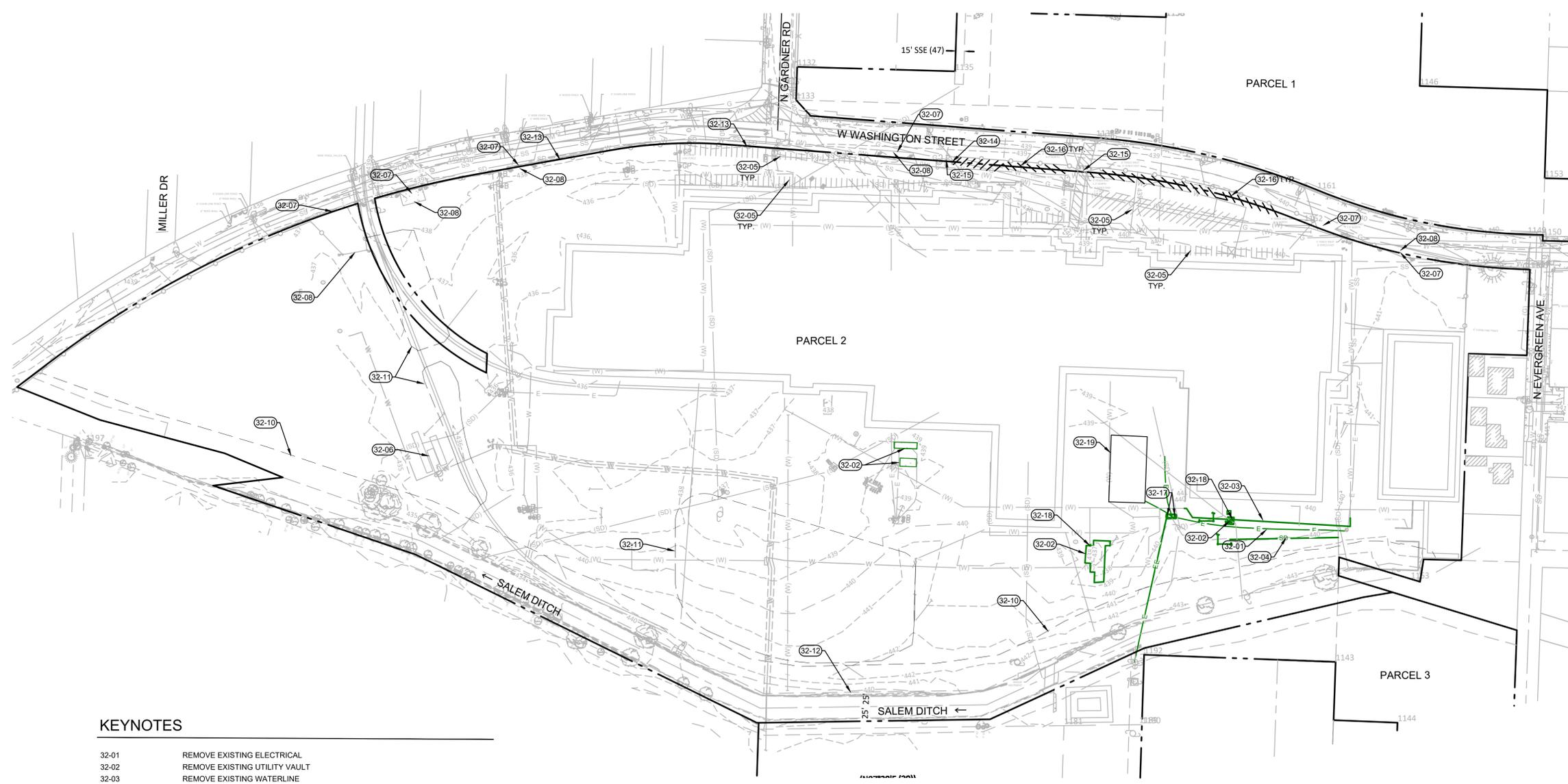
REVISION SCHEDULE		
Delta	Issued As	Issue Date

SHEET TITLE:  
**EXISTING  
CONDITONS/  
DEMOLITION  
PLAN**

SHEET:

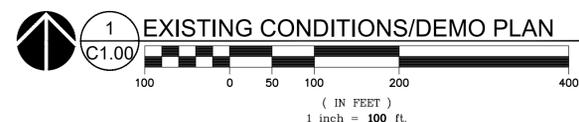
**C1.00**

JOB NO. **2220389.00**



**KEYNOTES**

- 32-01 REMOVE EXISTING ELECTRICAL
- 32-02 REMOVE EXISTING UTILITY VAULT
- 32-03 REMOVE EXISTING WATERLINE
- 32-04 REMOVE EXISTING STORMLINE
- 32-05 EXISTING PARKING SPACE TO REMAIN
- 32-06 EXISTING GUARD SHACK
- 32-07 EXISTING DRIVEWAY TO REMAIN
- 32-08 EXISTING GATED ACCESS TO REMAIN
- 32-09 REMOVE EXISTING ELECTRICAL
- 32-10 50' NATURAL RESOURCE OVERLAY BOUNDARY
- 32-11 EXISTING LANDSCAPE AREA
- 32-12 EDGE OF SALEM DITCH EASEMENT
- 32-13 EXISTING FENCE TO REMAIN
- 32-14 EXISTING FENCE TO BE RELOCATED TO INSIDE PROPERTY LINE FROM HERE TO EAST
- 32-15 EXISTING PEDESTRIAN ACCESS POINT TO REMAIN
- 32-16 EXISTING PARKING SPACE TO BE REMOVED
- 32-17 EXISTING ELECTRICAL POLE TO BE DEMOLISHED
- 32-18 REMOVE/RELOCATE EXISTING FIRE HOYRANT
- 32-19 PREVIOUSLY DEMOLISED MACHINE SHOP





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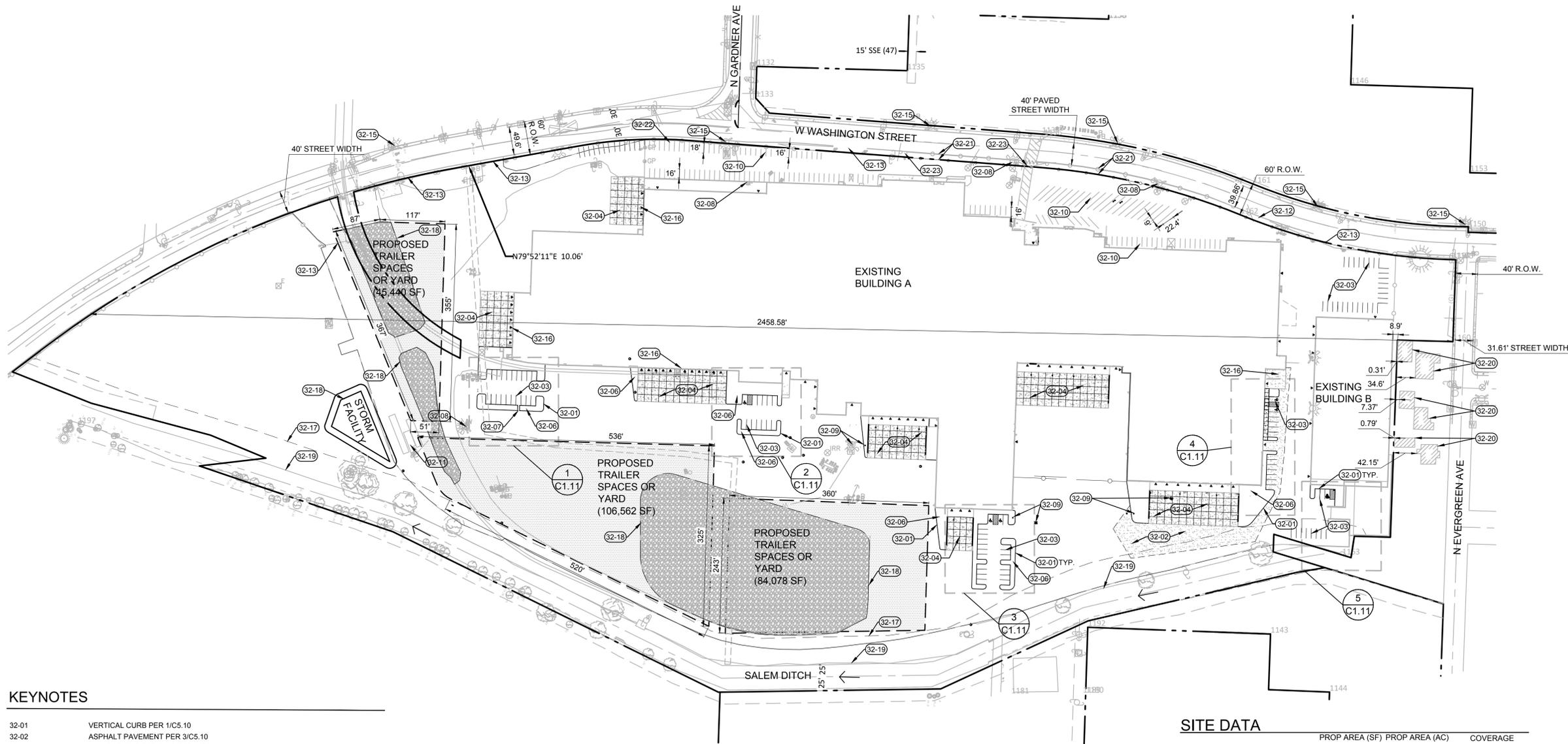
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**OVERALL SITE PLAN**

SHEET:

**C1.10**

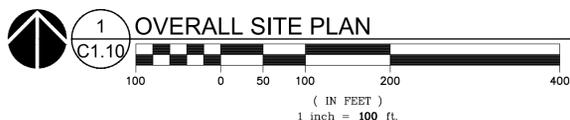
JOB NO. **2220389.00**

LAND USE SUBMITTAL - 3/8/24



**KEYNOTES**

- 32-01 VERTICAL CURB PER 1/C5.10
- 32-02 ASPHALT PAVEMENT PER 3/C5.10
- 32-03 NEW PARKING STRIPING PER 2/C5.10
- 32-04 CONCRETE DOCK APRON
- 32-05 ACCESSIBLE PARKING STALL PER 7/C5.10
- 32-06 LANDSCAPE AREA PER LANDSCAPE PLANS
- 32-07 CURB CHANNEL PER 9/C5.10
- 32-08 EXISTING FIRE HYDRANT TO REMAIN
- 32-09 PROPOSED RELOCATED FIRE HYDRANT
- 32-10 EXISTING PARKING STRIPING
- 32-11 EXISTING GUARD SHACK
- 32-12 EXISTING DRIVEWAY TO REMAIN
- 32-13 EXISTING GATED ACCESS TO REMAIN
- 32-14 NOT USED
- 32-15 EXISTING PUBLIC FIRE HYDRANT
- 32-16 EXISTING LOADING AREAS
- 32-17 50' NATURAL RESOURCE OVERLAY BOUNDARY
- 32-18 PROPOSED GRAVEL TO REPLACE LANDSCAPE
- 32-19 EXISTING TOP OF DITCH BANK
- 32-20 EXISTING RESIDENTIAL BUILDINGS
- 32-21 RELOCATE FENCE OUTSIDE OF RIGHT-OF-WAY BY OTHERS PER PARTITION #4-05/23
- 32-22 PARKING LOCATED SOUTH OF RELOCATED FENCE LINE
- 32-23 PEDESTRIAN ACCESS POINT
- 32-24 PROPOSED STORM WATER FACILITY



**SITE DATA**

	PROP AREA (SF)	PROP AREA (AC)	COVERAGE
GROSS PROPERTY AREA	1,709,469	39.24	
RIGHT-OF-WAY DEDICATION	0		
NET PROPERTY AREA	1,709,469	39.24	
AREA OF DISTURBANCE	267,572	6.14	15.7%
IMPERVIOUS AREA			
BUILDING AREA TO REMAIN	525,434	12.06	30.7%
PREVIOUS DEM. BUILDING	7,095		
EXISTING BUILDING CANOPIES	12,545		
NEW BUILDING CANOPIES	7,497		
PAVED AREA	770,956	17.70	45.1%
TOTAL IMPERVIOUS AREA	1,316,432	30.22	77%
LANDSCAPE AREA	393,037	9.02	23%
NEW PARKING AREA		23.132	
NEW PARKING AREA LANDSCAPE		11,013	47.6%

**PAVED AREAS**

	PROP AREA (SF)	PROP AREA (AC)
PAVED AREA	770,956	17.70
EXISTING PAVED AREA	697,466	16.01
LANDSCAPE CONVERTED TO PAVED AREA	114,693	2.63
PAVED AREA CONVERTED TO LANDSCAPE	41,203	0.95

**PARKING DATA**

PARKING TYPE	
PROPOSED	111
PROPOSED ACCESSIBLE	7
EXISTING	181
EXISTING REMOVED STALLS	31
TOTAL PARKING	268
BICYCLE PARKING	
EXISTING	0
PROPOSED	0
TOTAL BICYCLE PARKING	0



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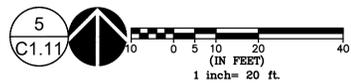
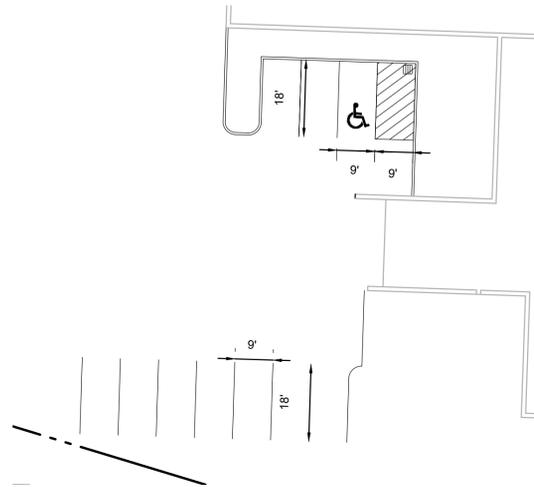
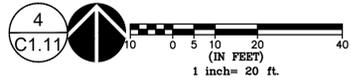
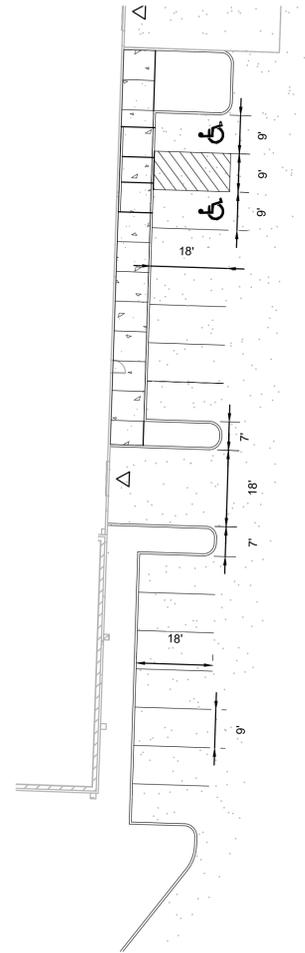
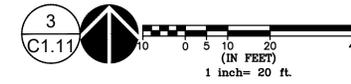
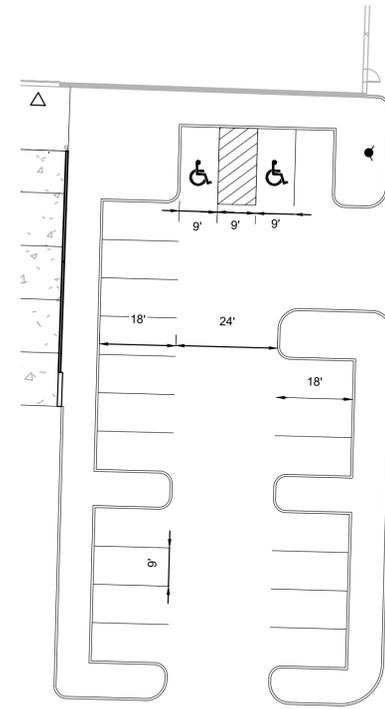
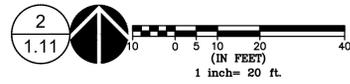
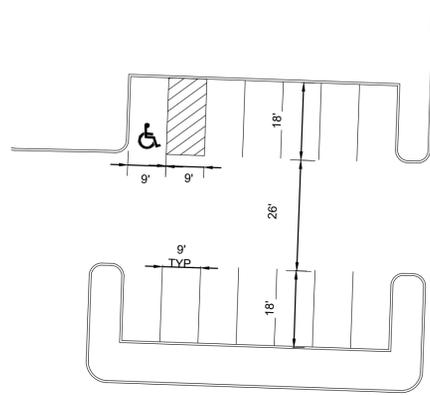
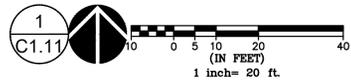
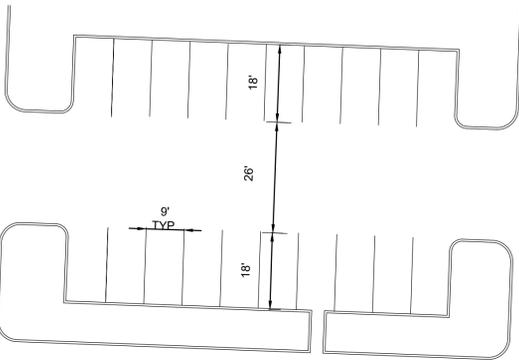
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SHEET TITLE:  
**SITE PLAN  
ENLARGEMENTS**

SHEET:

**C1.11**

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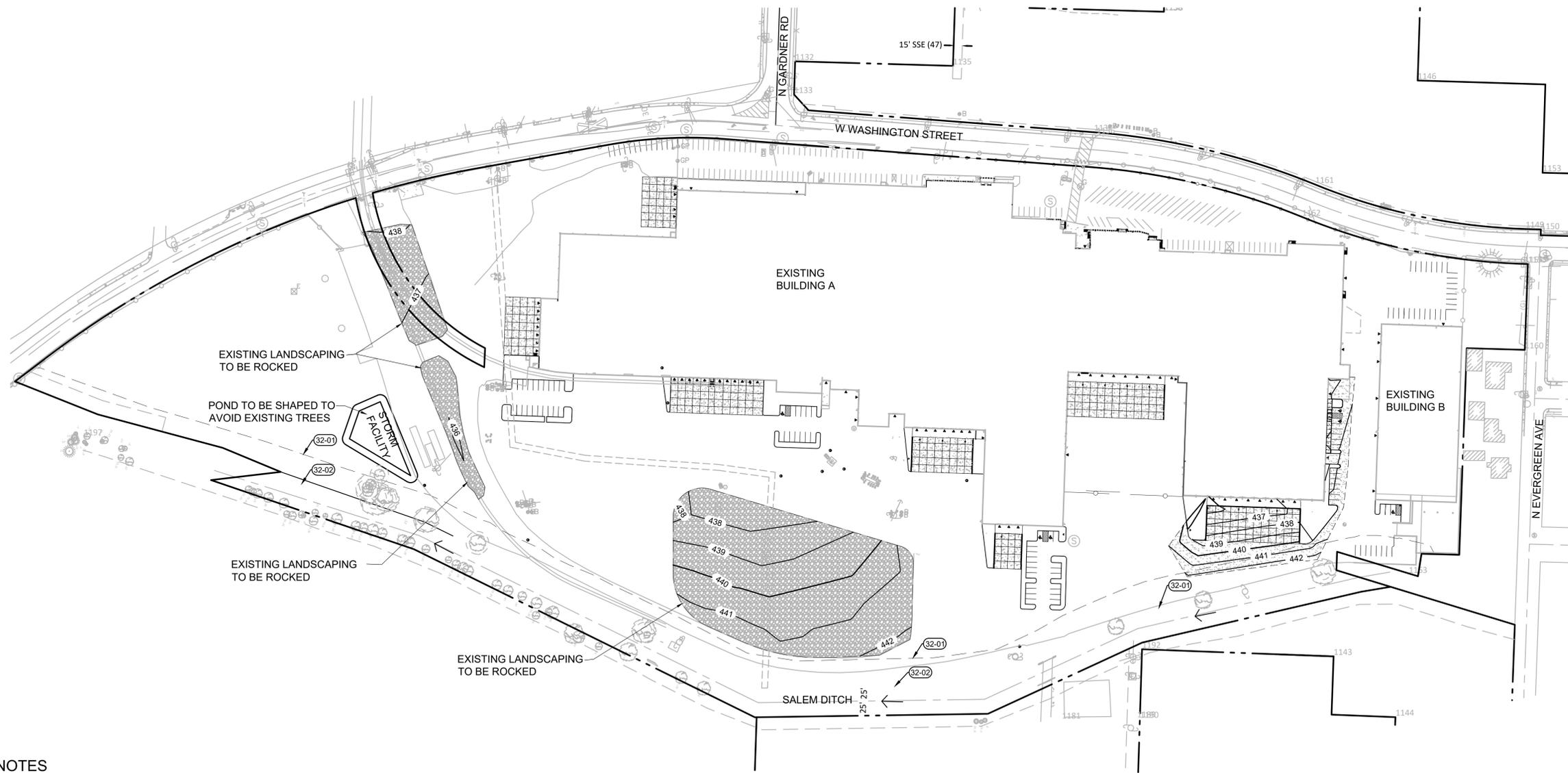
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**OVERALL  
GRADING PLAN**

SHEET:

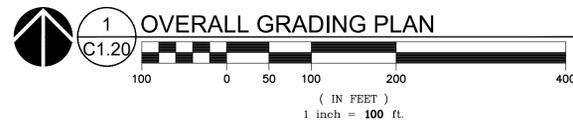
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**KEYNOTES**

- 32-01 50' NATURAL RESOURCE OVERLAY BOUNDARY
- 32-02 EXISTING TOP OF DITCH BANK







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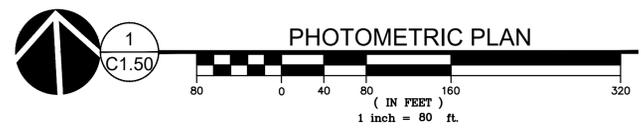
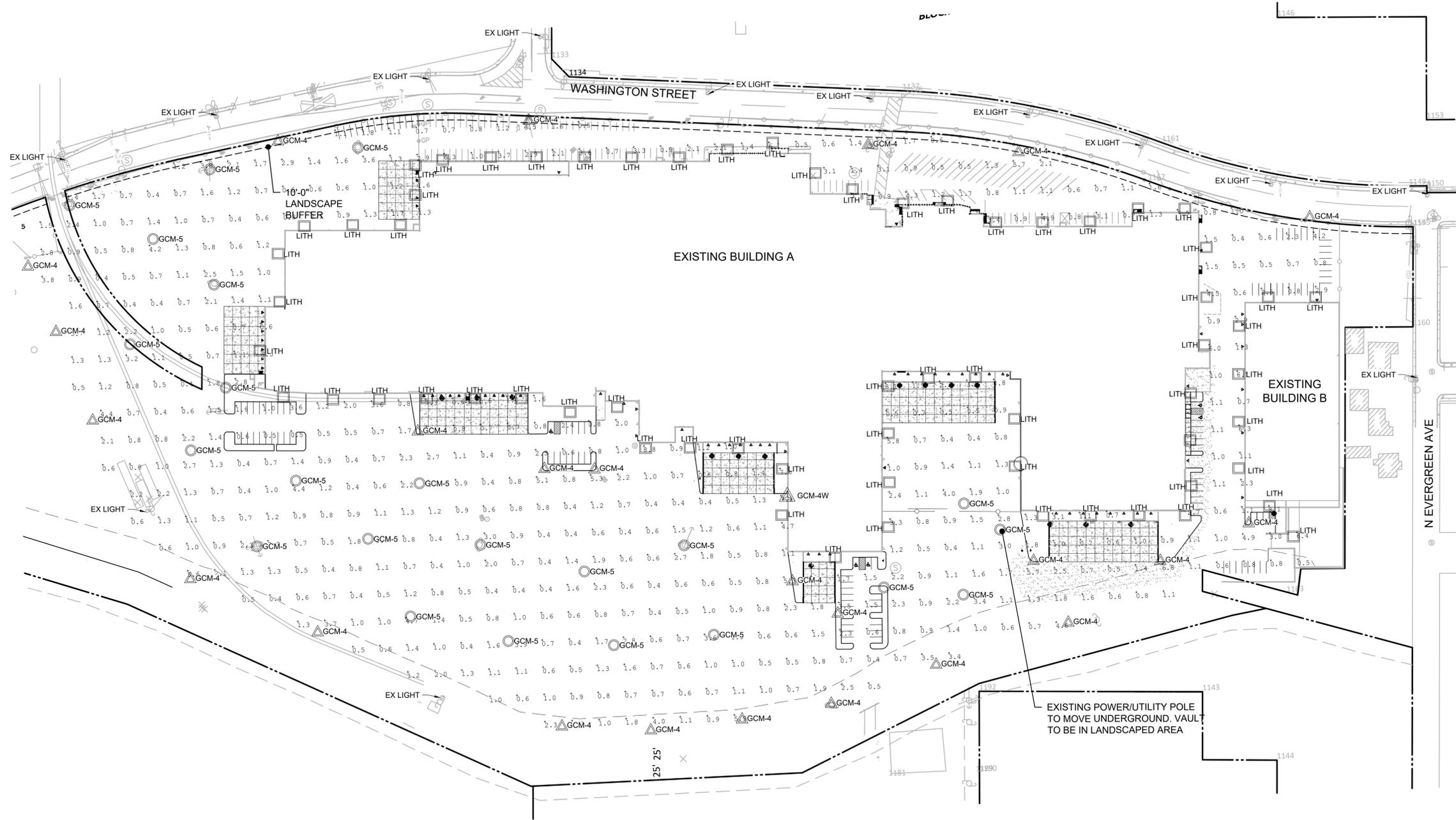
**PHOTOMETRIC  
PLAN**

SHEET:

**C1.50**

JOB NO. **2220389.00**

**LAND USE SUBMITTAL - 3/8/24**  
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**PHOTOMETRIC CALCS**

LABEL	UNITS	AVG	MAX	MIN	UNIFORMITY RATIO	MAX/MIN
SITE:	FC	1.57	8.8	0.4	3.93	22.00

**PROPOSED LUMINAIRE INFO**

SYMBOL	QTY	LABEL	ARRANGMENT	LUMENS	CRI MINIMUM	MOUNT HEIGHT	MANUFACTURER	PART NUMBER
	66	LITH	WALL MOUNT	8581	80	16'	LITHONIA LIGHTING	TWR1 LED ALOOHIGH40K UVOLT
	24	GCM-4	POLE MOUNT SINGLE	18932	70	25'	LEOTEK	GCM3-60J-MV-40K-4-XX-190
	1	GCM-4W	WALL MOUNT SINGLE	18932	70	25'	LEOTEK	GCM3-60J-MV-40K-4-XX-190
	23	GCM-5	POLE MOUNT SINGLE	18997	70	25'	LEOTEK	GCM3-60J-MV-40K-5-XX-190

**SHEET INDEX**

L0.01	LANDSCAPE GENERAL INFORMATION
L1.10	LANDSCAPE KEY PLAN
L1.11	PLANTING PLAN ENLARGEMENT
L1.12	PLANTING PLAN ENLARGEMENT
L1.13	PLANTING PLAN ENLARGEMENT
L1.14	PLANTING PLAN ENLARGEMENT
L5.10	PLANTING DETAILS

**LANDSCAPE NOTES**

GENERAL

- CONTRACTOR SHALL CONFIRM ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CALL BEFORE YOU DIG. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF ALL UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH PLANTING ROOT ZONES. TO REQUEST LOCATES FOR PROPOSED EXCAVATION CALL 1-800-332-2344 (OR 811) IN OREGON
- NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS WITH EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK.
- LOCATION OF EXISTING TREES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- DAMAGE TO EXISTING CONCRETE CURB, ASPHALT PAVING, OR OTHER STRUCTURE SHALL BE REPAIRED OR REPLACED TO PRE CONSTRUCTION CONDITIONS.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY DISRUPTION TO VEHICULAR CIRCULATION PRIOR TO COMMENCEMENT OF ANY WORK.

PLANTING

- ALL EXISTING TREES, PLANTS, AND ROOTS SHALL BE PROTECTED FROM DAMAGE FROM ANY CONSTRUCTION PREPARATION, REMOVAL OR INSTALLATION ACTIVITIES WITHIN AND ADJACENT TO PROJECT LIMITS.
- SHRUBS ADJACENT TO PARKING AREAS SHALL BE PLANTED 2 FT MINIMUM AWAY FROM THE BACK OF CURB. SHRUBS AND GROUNDCOVER ALONG OTHER PAVEMENT EDGES SHALL BE PLANTED A MINIMUM OF ONE HALF THEIR ON CENTER SPACING AWAY FROM PAVEMENT EDGE.
- ALL PLANT MATERIAL SHALL BE HEALTHY NURSERY STOCK, WELL BRANCHED AND ROOTED, FULL FOLIAGE, FREE FROM INSECTS, DISEASES, WEEDS, WEED ROT, INJURIES AND DEFECTS WITH NO LESS THAN MINIMUMS SPECIFIED IN AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1-2004.
- DO NOT PLANT TREES ABOVE WATERLINES, UTILITIES, OR OTHER UNDERGROUND PIPING.
- IF DISTURBANCE IS NECESSARY AROUND EXISTING TREES, CONTRACTOR SHALL PROTECT THE CROWN AND ALL WORK WITHIN THE TREE DRIPZONE SHALL BE LIMITED TO THE USE OF HAND TOOLS AND MANUAL EQUIPMENT ONLY.
- EXISTING AREAS PROPOSED FOR NEW PLANT MATERIAL SHALL BE CLEARED AND LEGALLY DISPOSED UNLESS SO NOTED.
- ALL LANDSCAPED AREAS SHALL BE COVERED BY A LAYER OF ORGANIC MULCH TO A MINIMUM DEPTH OF 2-INCHES.

IRRIGATION

- ALL NEW LANDSCAPE AREAS TO BE MANUALLY IRRIGATED BY OWNER. OWNER IS RESPONSIBLE TO PROVIDE ADEQUATE IRRIGATION TO COMPLETELY ESTABLISH PLANT MATERIAL AND KEEP PLANTS ALIVE THROUGH ENTIRETY OF PLANT WARRANTY PERIOD PER JURISDICTIONAL REQUIREMENTS.

**STORMWATER FACILITY PLANT SCHEDULES**

PER CITY OF PORTLAND BES STORMWATER MANAGEMENT MANUAL (2020)

**SWALE / BASIN VEGETATION REQUIREMENTS**

ZONE A			
VEGETATION TYPE	QUANTITY	SIZE	SPACING
HERBACEOUS PLANTS	80 / 100 SF	#1 CONTAINER	15" OC
OR			
HERBACEOUS PLANTS	72 / 100 SF	#1 CONTAINER	15" OC
SMALL OR LARGE SHRUBS	4 / 100 SF	#2 CONTAINER	12" OC
ZONE B			
VEGETATION TYPE	QUANTITY	SIZE	SPACING
SMALL OR LARGE SHRUBS	7 / 100 SF	#2 CONTAINER	24" OC
GROUND COVER	70 / 100 SF	#1 CONTAINER	12" OC

STORMWATER FACILITY - (10,405 SF) SEE SHEET L1.11

ZONE	PLANT SPECIES	RATE
A (5,717 SF)	HERBACEOUS PLANTS: CAREX DENSA / DENSE SEDGE JUNCUS BALTICUS / BALTIC RUSH JUNCUS PATENS / SPREADING RUSH	80/100 SF
B (4,688 SF)	SMALL OR LARGE SHRUBS: CEANOTHUS VELUTINUS / SNOWBRUSH CEANOTHUS HOLODISCUS DISCOLOR / OCEAN SPRAY LONICERA INVOLUCRATA / TWINBERRY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY PHILADELPHUS LEWISII / MOCK ORANGE	7/100 SF
	GROUND COVER: ARCTOSTAPHYLOS UVA-URSI / KINNICKINNICK SEDUM OREGANUM / OREGON STONECROP	7/100 SF

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	SIZE
<b>TREES</b>		
	ACER RUBRUM 'ARMSTRONG' ARMSTRONG MAPLE	1.5" CAL. B&B
	ULMUS X 'MORTON' ACCOLADE™ ELM	1.5" CAL. B&B
	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE JAPANESE ZELKOVA	1.5" CAL. B&B

	SHRUBS CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS CISTUS X HYBRIDUS WHITE ROCKROSE NANDINA DOMESTICA 'COMPACTA' DWARF HEAVENLY BAMBOO PENNISETUM ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS PINUS MUGO MUGO PINE POTENTILLA FRUTICOSA BUSH CINQUEFOIL SPIRAEA BETULIFOLIA 'TOR GOLD' GLOW GIRL BIRCHLEAF SPIREA SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY	2 GAL.
	GROUND COVERS ARCTOSTAPHYLOS UVA-URSI KINNICKINNICK CEANOTHUS GLORIOSUS POINT REYES CEANOTHUS RUBUS CALGINOIDES CREEPING BRAMBLE STORMWATER ZONE A SEE STORMWATER FACILITY PLANT SCHEDULE, THIS SHEET STORMWATER ZONE B SEE STORMWATER FACILITY PLANT SCHEDULE, THIS SHEET	---

NOTE: SHRUBS SHALL BE A MINIMUM OF 2 FT IN HEIGHT AT THE TIME OF PLANTING



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SHEET TITLE:

**LANDSCAPE  
GENERAL  
INFORMATION**

SHEET:

**L0.01**

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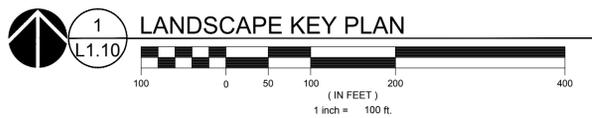
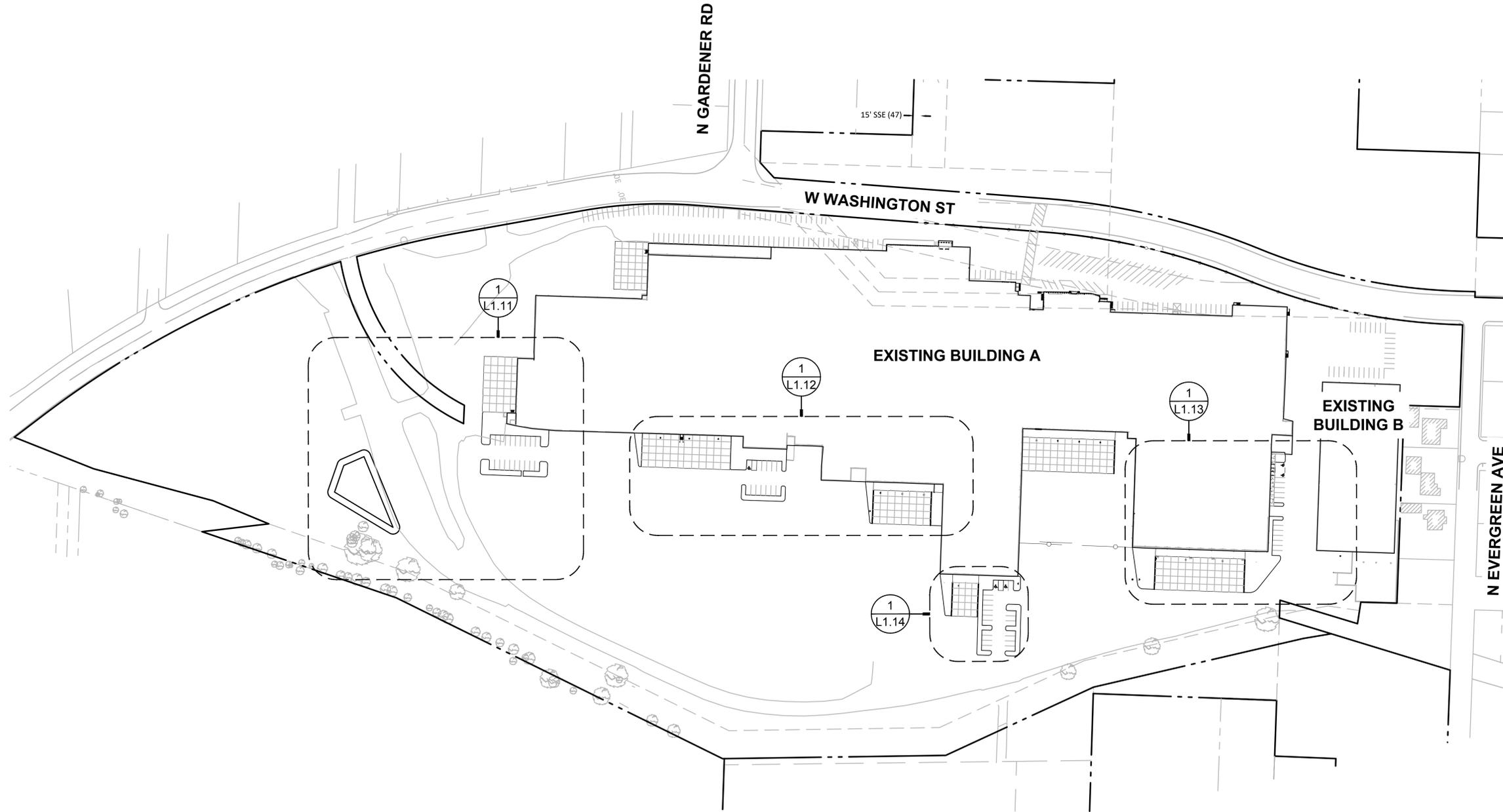
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**LANDSCAPE  
KEY PLAN**

SHEET:

**L1.10**

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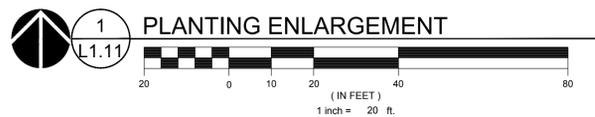
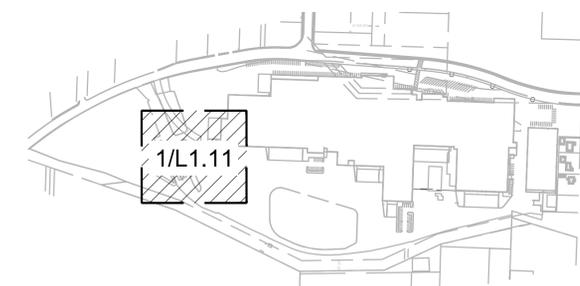
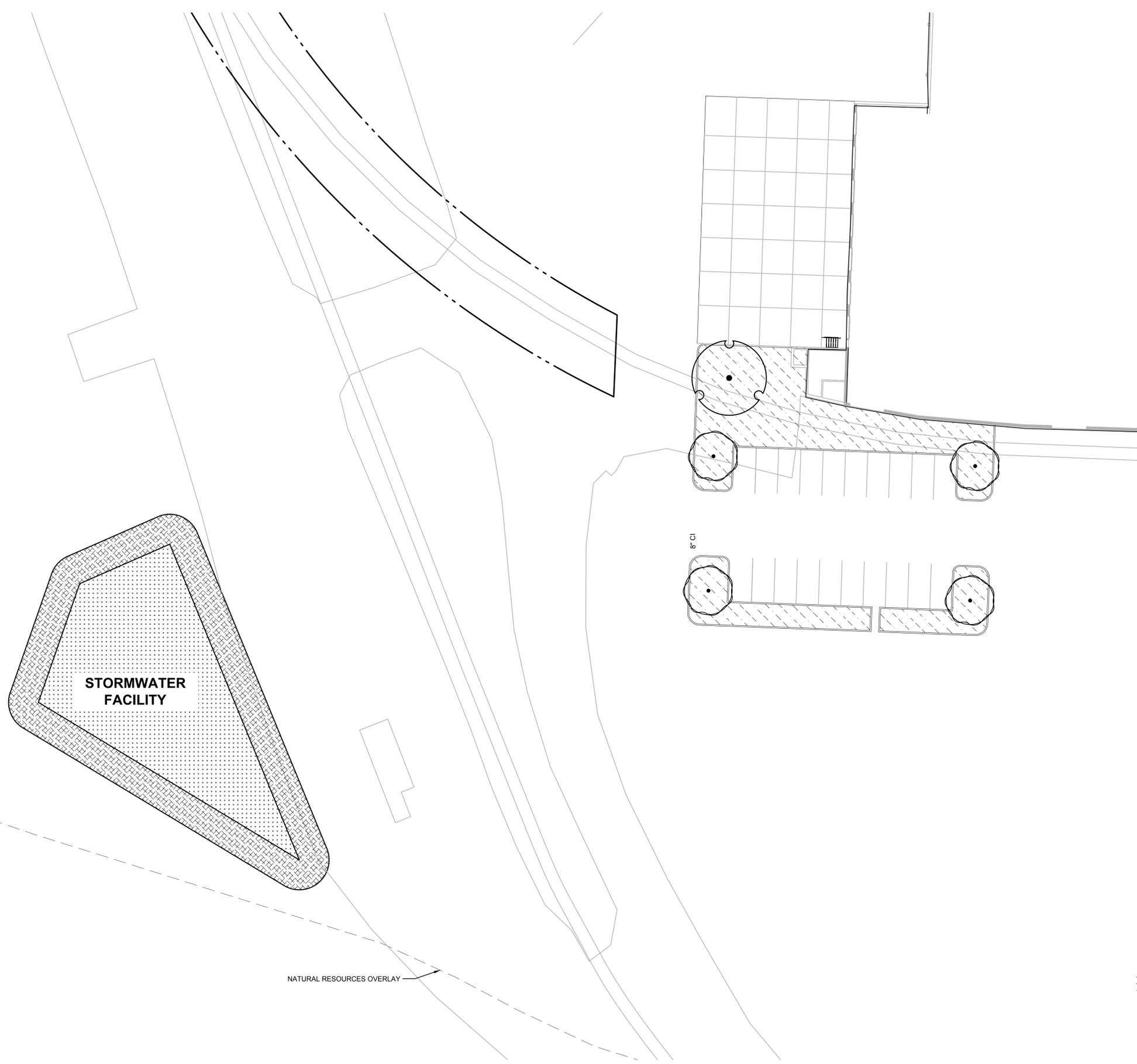
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SHEET TITLE:  
**PLANTING PLAN  
ENLARGEMENT**

SHEET:

**L1.11**

JOB NO. **2220389.00**





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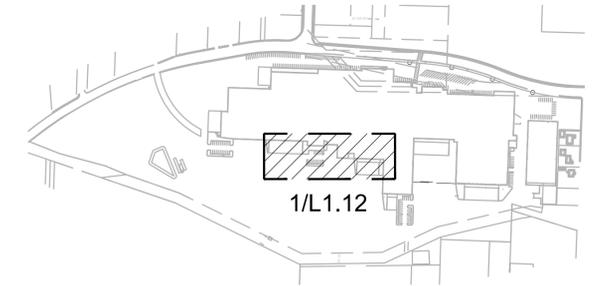
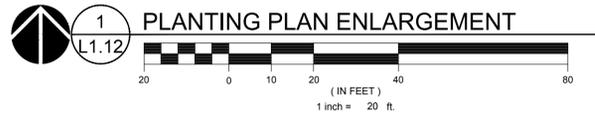
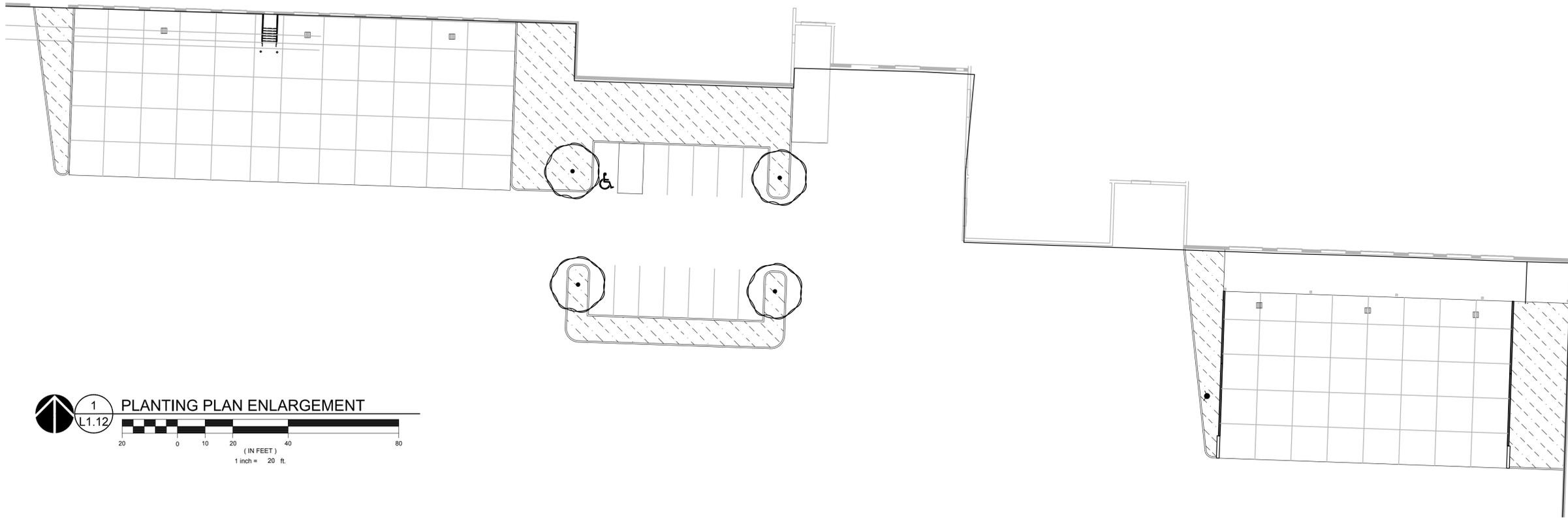
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**PLANTING PLAN  
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**KEY MAP**  
SCALE: NTS



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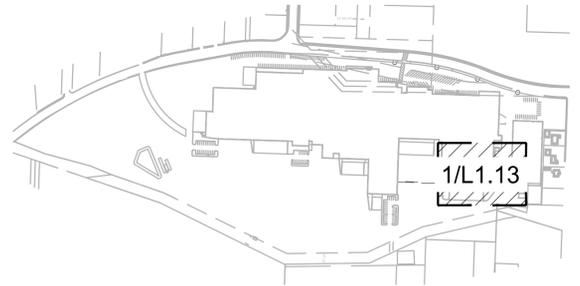
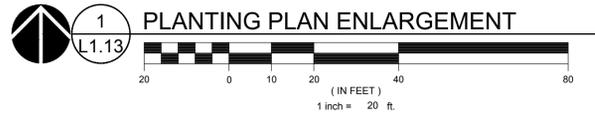
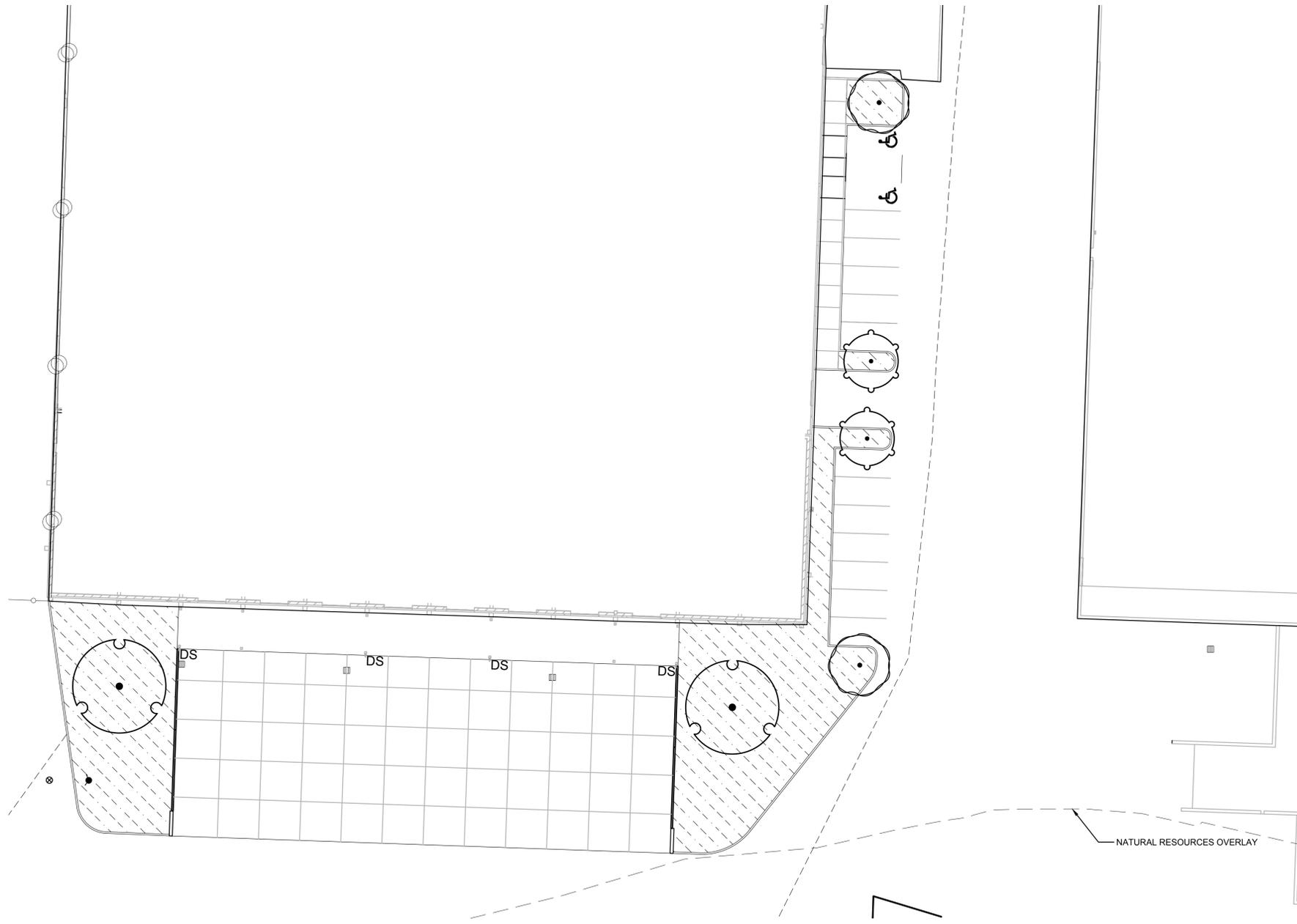
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Delta	Issued As	Issue Date

SHEET TITLE:  
**PLANTING PLAN  
ENLARGEMENT**

SHEET:  
**L1.13**

JOB NO. **2220389.00**



**KEY MAP**  
SCALE: NTS



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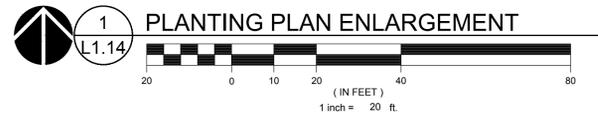
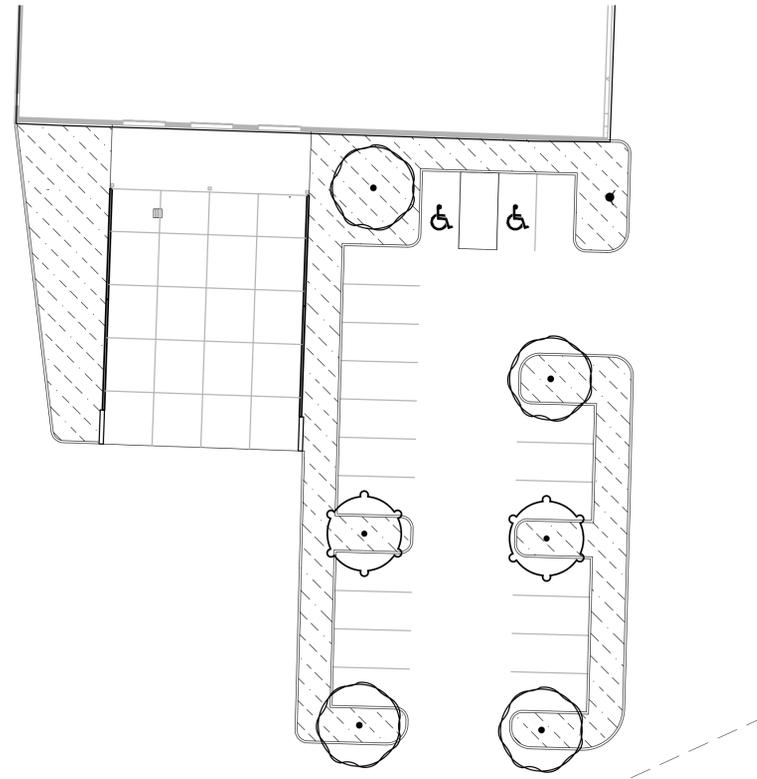
Project

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INDUSTRIAL  
CENTER**

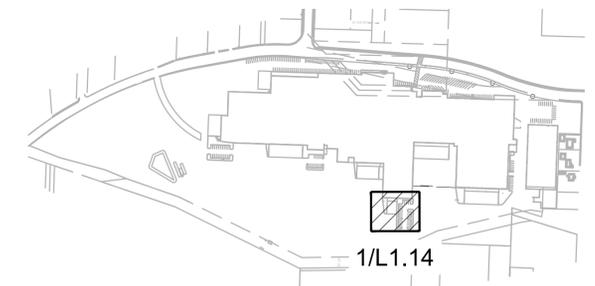
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**PLANTING PLAN ENLARGEMENT**



**KEY MAP**  
SCALE: NTS

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ENLARGEMENT**

SHEET:

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SHEET TITLE:  
**BUILDING  
ELEVATIONS  
KEYPLAN**

SHEET

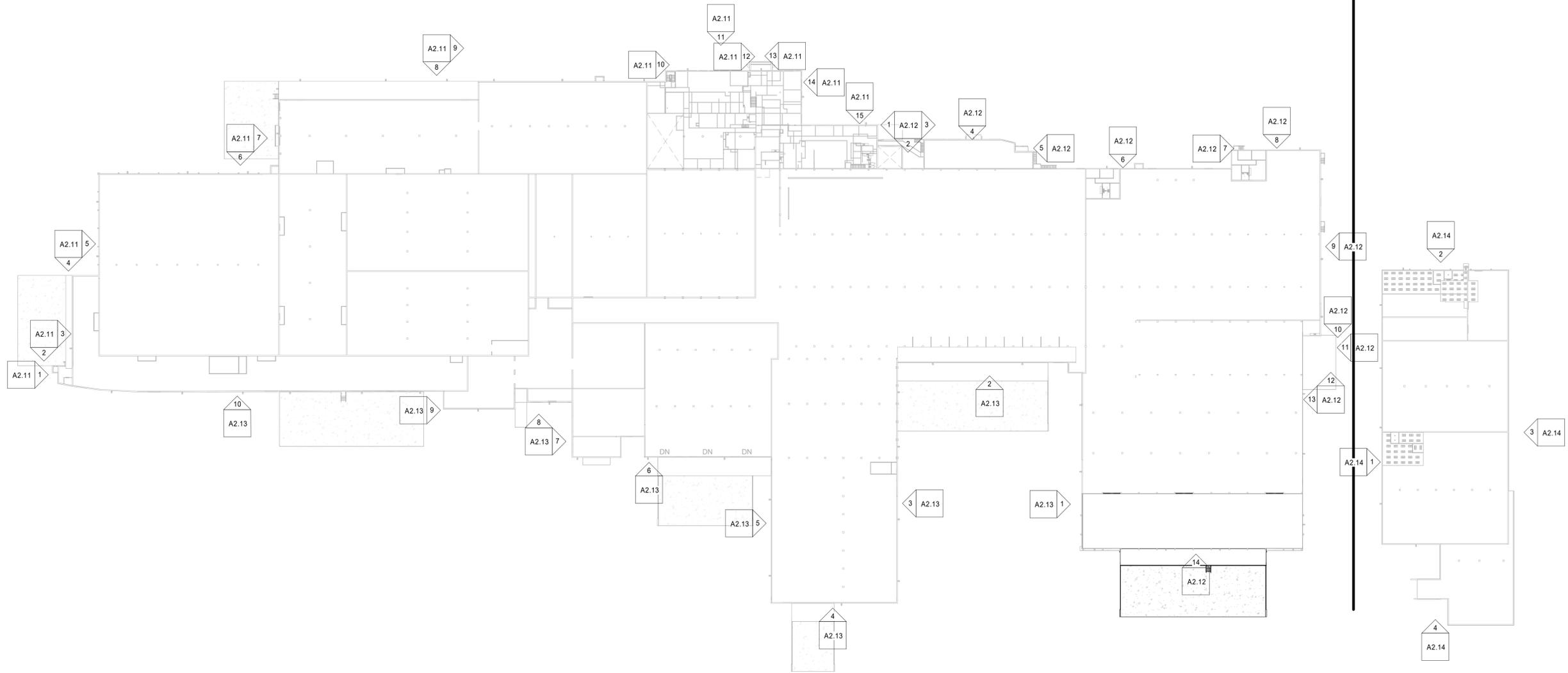
**A2.10**

JOB NO. **2220389.00**

**LAND USE SUBMITTAL - 3/8/24**

Autodesk Docs//IRG - Stayton/389-IRG - Stayton-V22-A.rvt 3/6/2024 11:18:37 AM 1" = 60'-0"

BUILDING A / BUILDING B



 **1**  
A2.10 1" = 60'-0"

METAL CORRAGATED SIDING

METAL CORRAGATED SIDING

METAL CORRAGATED SIDING

METAL CORRAGATED SIDING

GENERAL NOTES

A. EXTERIOR FACADE IS PAINTED CONCRETE OR CMU BLOCK, UNO



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SHEET TITLE:  
BUILDING  
ELEVATIONS

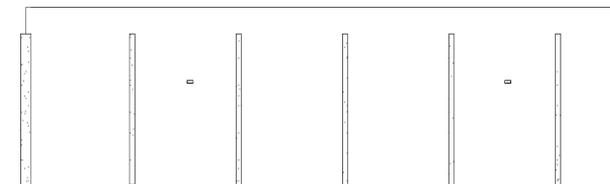
SHEET

A2.11

JOB NO. 2220389.00

LAND USE SUBMITTAL - 3/8/24

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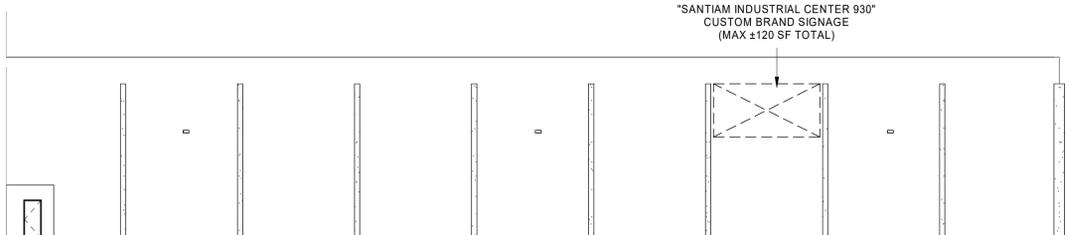
5 WEST WALL - 03  
A2.11 1/16" = 1'-0"

4 NORTH WALL - 02  
A2.11 1/16" = 1'-0"

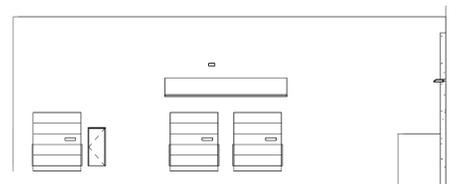
3 WEST WALL - 02  
A2.11 1/16" = 1'-0"

2 NORTH WALL - 01  
A2.11 1/16" = 1'-0"

1 WEST WALL - 01  
A2.11 1/16" = 1'-0"

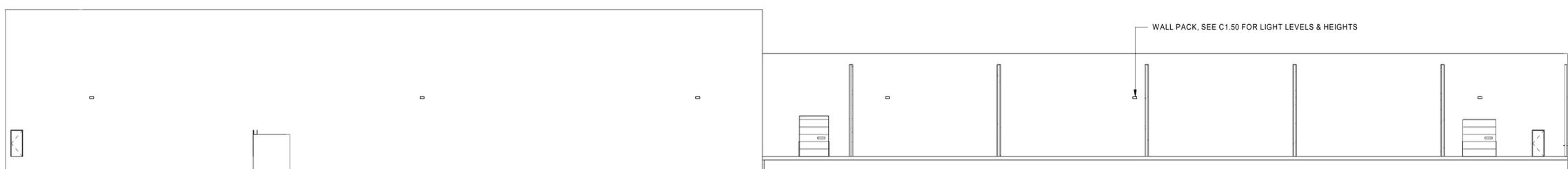


"SANTIAM INDUSTRIAL CENTER 930"  
CUSTOM BRAND SIGNAGE  
(MAX ±120 SF TOTAL)



7 WEST WALL - 04  
A2.11 1/16" = 1'-0"

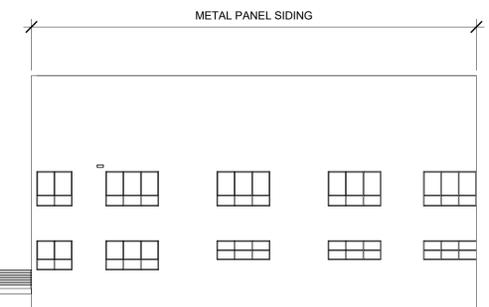
6 NORTH WALL - 03  
A2.11 1/16" = 1'-0"



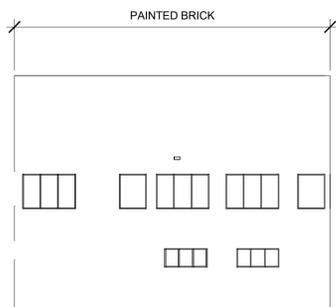
WALL PACK, SEE C1.50 FOR LIGHT LEVELS & HEIGHTS

9 WEST WALL - 05  
A2.11 1/16" = 1'-0"

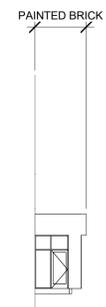
8 NORTH WALL - 04  
A2.11 1/16" = 1'-0"



15 NORTH WALL - 06  
A2.11 1/16" = 1'-0"



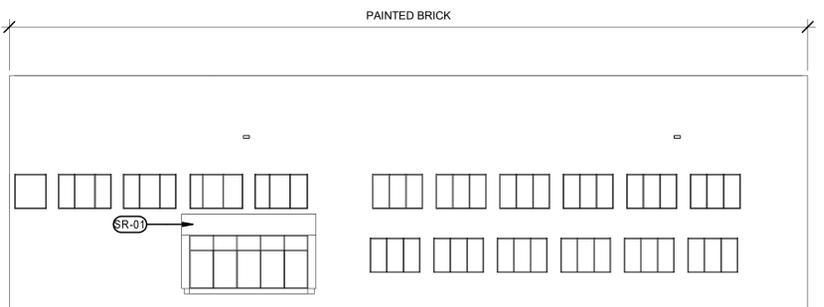
14 EAST WALL - 02  
A2.11 1/16" = 1'-0"



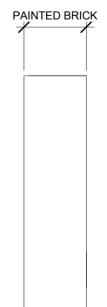
13 EAST WALL - 01  
A2.11 1/16" = 1'-0"



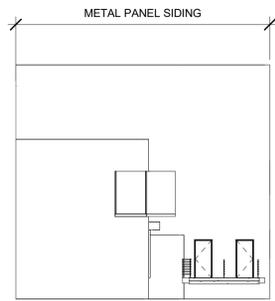
12 WEST WALL - 07  
A2.11 1/16" = 1'-0"



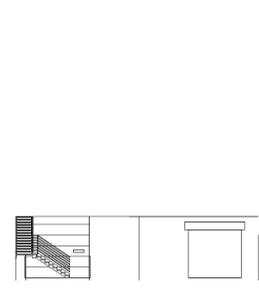
11 NORTH WALL - 05  
A2.11 1/16" = 1'-0"



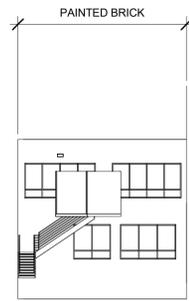
10 WEST WALL - 06  
A2.11 1/16" = 1'-0"



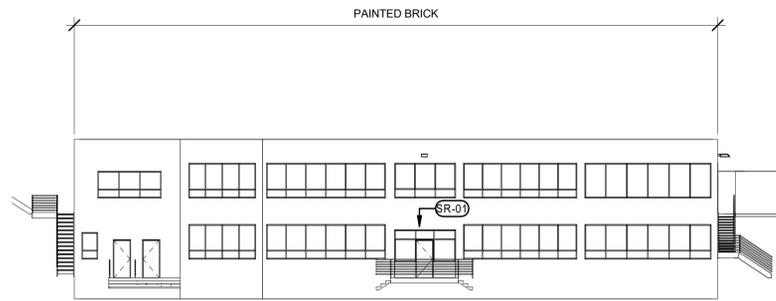
1 EAST WALL - 03  
A2.12 1/16" = 1'-0"



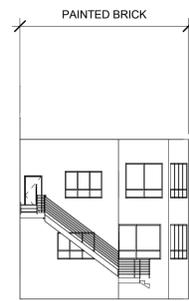
2 NORTH WALL - 07  
A2.12 1/16" = 1'-0"



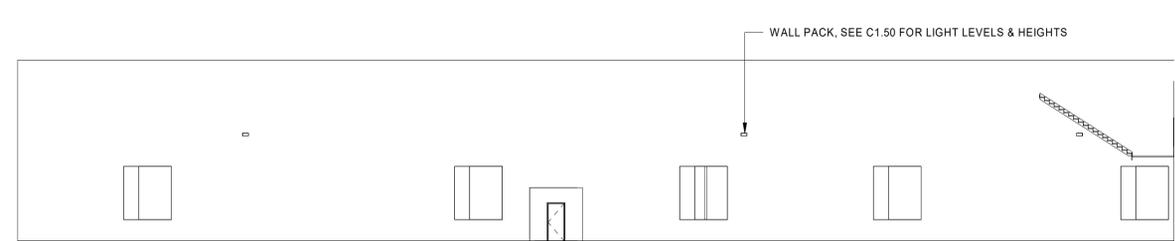
3 WEST WALL - 08  
A2.12 1/16" = 1'-0"



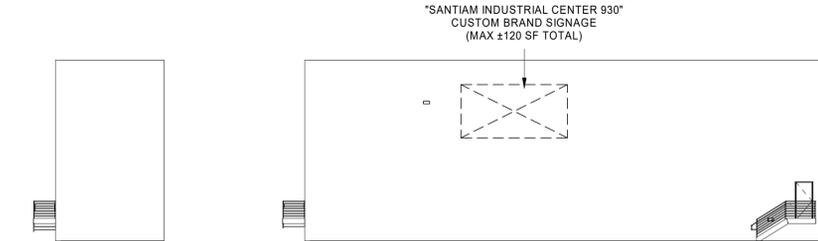
4 NORTH WALL - 08  
A2.12 1/16" = 1'-0"



5 EAST WALL - 04  
A2.12 1/16" = 1'-0"

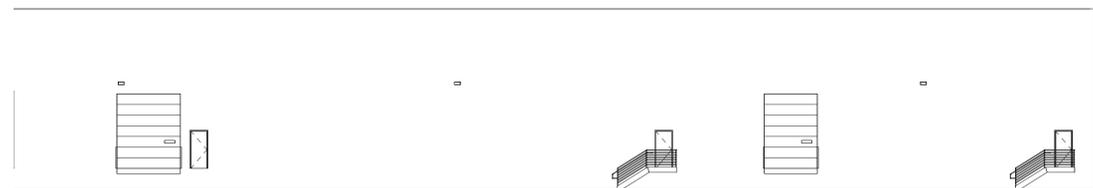


6 NORTH WALL - 09  
A2.12 1/16" = 1'-0"

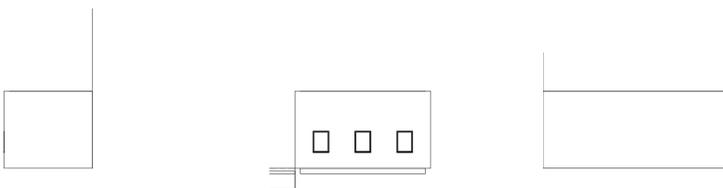


7 WEST WALL - 09  
A2.12 1/16" = 1'-0"

8 NORTH WALL - 10  
A2.12 1/16" = 1'-0"



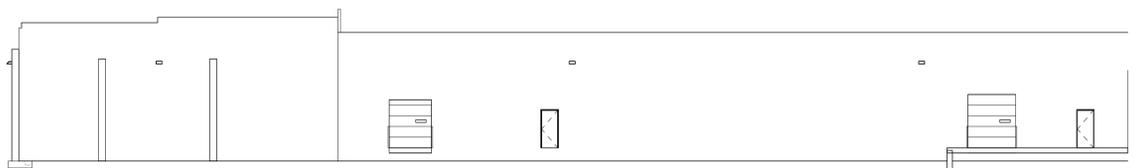
9 EAST WALL - 05  
A2.12 1/16" = 1'-0"



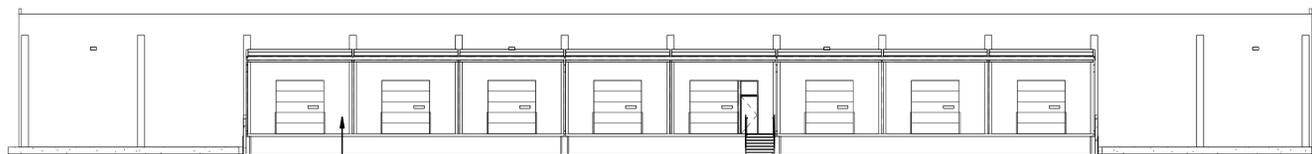
10 NORTH WALL - 11  
A2.12 1/16" = 1'-0"

11 EAST WALL - 06  
A2.12 1/16" = 1'-0"

12 SOUTH WALL - 01  
A2.12 1/16" = 1'-0"



13 EAST WALL - 07  
A2.12 1/16" = 1'-0"



14 SOUTH WALL - 02  
A2.12 1/16" = 1'-0"

### GENERAL NOTES

A. EXTERIOR FACADE IS PAINTED CONCRETE OR CMU BLOCK, UNO

### KEYNOTES

SR-01 (E) EXTERIOR CANOPY AREA  
SR-02 CONCRETE DOCK APRON  
SR-03 EXTERIOR CANOPY AREAUK



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**A2.12**

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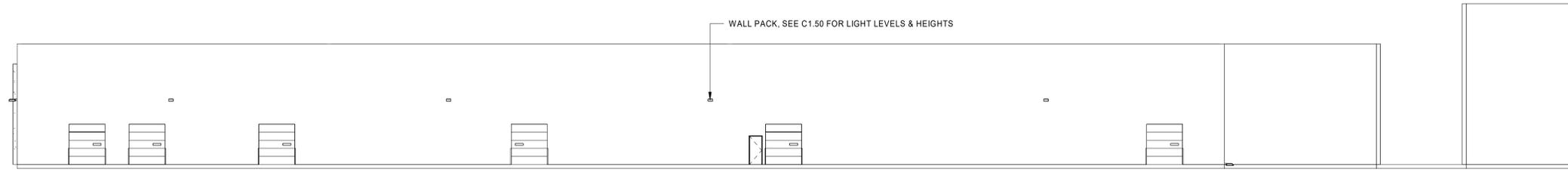
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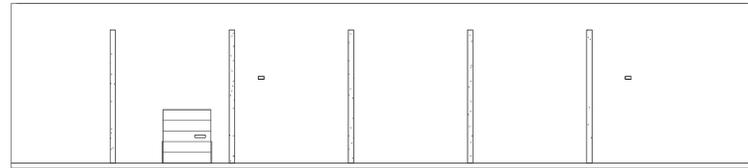
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**A2.14**

JOB NO. **2220389.00**



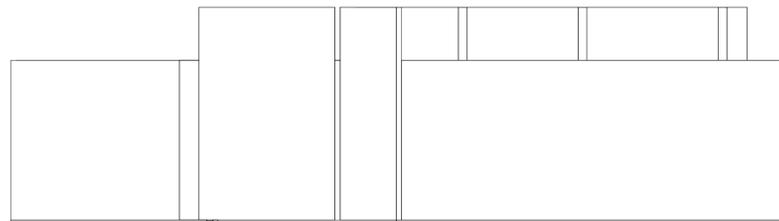
**1 WEST WALL - B**  
A2.14 1/16" = 1'-0"



**2 NORTH WALL - B**  
A2.14 1/16" = 1'-0"



**3 EAST WALL - B**  
A2.14 1/16" = 1'-0"



**4 SOUTH WALL - B**  
A2.14 1/16" = 1'-0"